

Laurie LaFontaine
Chairman

Ross Bricklemeyer Vice
Chairman

Joe Trimarchi
Secretary

Thomas D. Rivosecchi
Solicitor

Jeffrey Cable

Josephine Cunningham

Dr. Jerry Pickering

William Darr

John Somonick

Thomas McNutt

INDIANA COUNTY PLANNING COMMISSION

EXECUTIVE DIRECTOR

BYRON G. STAUFFER, JR.

ASSISTANT DIRECTOR

LUANN ZAK

INDIANA COURTHOUSE ANNEX

801 WATER STREET
INDIANA, PA 15701-1705

(724) 465-3870 (VOICE)
(724) 465-3150 (FAX)
(724) 465-3805 (TDD)

COUNTY COMMISSIONERS

R. MICHAEL KEITH, CHAIRMAN

BONNIE S. DUNLAP, PhD

SHERENE HESS

Meeting Agenda

Wednesday, April 9, 2025
Meeting at 827 Water Street- Courthouse Annex
and Via Zoom

1. Call to Order- Roll Call

2. Review/Approval of Minutes

a. Minutes for March 12, 2025 Meeting (Handout)

3. Correspondence

4. Old Business

5. New Business

a. Review of new Subdivisions and Land Developments
(Handout)

i. Recommendation from SALDO Committee

6. Committee and Staff Reports

a. Comprehensive/Long Range Plan Committee-

i. 3/18 meeting

ii. 4/1 meeting

b. SALDO Committee- Solar provisions for SALDO

c. Economic Development Committee

i. 3/26 meeting

7. Updates, Announcements, and Discussion

a. Project Updates (Handout)

b. Annual Report – comments

8. Adjournment

a. Adjournment & Next Meeting

i. Motion to Adjourn

ii. Next Meeting – May 14, 2025, 5:00 pm

INDIANA COUNTY PLANNING COMMISSION

Wednesday, March 12th, 2025, Meeting at 827 Water Street

1. Call to Order & Commission Administration. Meeting Called to order 5:00 p.m.

- a. Roll Call.** *Present:* Chairman Laurie LaFontaine, Vice Chairman Ross Bricklemyer, Secretary Joe Trimarchi, Solicitor Thomas D. Rivosecchi, Mr. Jeffrey Cable, Mrs. Josephine Cunningham, Dr. Jerry Pickering, Mr. William Darr, Mr. John Somonick, Mr. Thomas McNutt. *Staff in Attendance:* Executive Director Byron Stauffer, Jr., Deputy Director of Planning Josh Krug, Senior Land Use Planners Kegan Stiles and Scott Yackuboskey.

2. Review/Approval of Minutes.

- a. Approval of Minutes for February 12th, 2025 Meeting (Handout).** Mr. Bricklemyer motions to approve the minutes from the February 12th meeting. Mr. Trimarchi seconds. Motion carried.

3. Correspondence. None

4. Old Business. None

5. New Business.

- a. Review and Approval of New Subdivisions and Land Developments.**

Dr. Pickering motions to approve the subdivisions. Mr. Bricklemyer seconds. Motion carried.

Subdivisions

- i. *Hazel Johnston. Center, 12-007-100*
- ii. *Nicholas W. Antonucci, Justin A. & Melissa A. Johnston. Conemaugh, 16-004-111.01*
- iii. *Loren & Clara Byler and Noah & Elva Yoder. S Mahoning, 29-009-127.02*
- iv. *Ivan Z. & Susie L. Beiler. Grant, 19-014-117*
- v. *Fred Carlson, Marie Emanuel & Elizabeth Emanuel Krolczyk. Pine, 33-016-100.01*
- vi. *Linda J. Kurtz. Montgomery, 32-005-151*
- vii. *Alvin S. & Mary B. Zook. Montgomery, 32-015-109*
- viii. *Donald C. & Mary A. Conner. Montgomery, 32-003-124*
- ix. *Johnna Jones-Shirley Yarnal. Buffington, 09-010-102.03 (Tabled for Next Month)*
- x. *Richard E. & Sylvia Bothell. Rayne, 35-016-101.02*

Land Developments

- i. *REA – Livermore. Black Lick, 04-016-108.* Mr. Somonick motions to approve the Land Development. Mr. Bricklemyer seconds. Motion carried.

Tabled

Mr. Darr motions to table the Yarnal Subdivision for next month. Mr. Cable seconds. Motion carried.

6. Committee and Staff Reports.

- a. Comprehensive/Long Range Plan Committee.**

Meeting scheduled for 3/18.

- b. SALDO Committee.**

Solar provisions for SALDO

- c. Economic Development Committee.**

Did not meet – Staff continuing to work on action items.

7. Updates, Announcements, and Discussion.

- a. Project Updates (Handout).**

- b. Annual Report - Draft**

8. Adjournment & Next Meeting.

- a. Adjourn.** Dr. Pickering motions to adjourn. Mr. Darr seconds. Meeting adjourned.

REF#	APPLICANT	TWP/BORO	PARCEL NO.	INITIAL RECOMMENDATION	REASON / NOTE	UPDATE	STATUS
25030	Ervin E. Kuhns, Jr. & Betty W. Kuhns	W. Mahoning	30-004-106 & 30-004-105.02	Conditional	NB Needed	4/8 - NB recvd	Approval
25031	Robert M. & Patricia J. Gatskie	Rayne	35-008-110.02 & 35-008-110	Conditional	Needs Township signature on plan	4/7-Signed plans recvd	Approval
25032	Donald & Debra Bicker	S. Mahoning	29-001-100.01	Conditional	Needs NB, needs setback statement on the plan	4/2-rcvd NB 4/7-added setback verbiage to plan	Approval
25033	William S. & Ginger B. McCoy	Buffington	09-001-113	Conditional	Needs ESI, modification needed	4/7-plans modified to create a 1acre remainder	
25034	Jarrett Sherry	Green	20-009-126	Conditional	Needs NB & ESI		
25035	Lucinda B. & Edward A. Deitman	Green	20-025-137	Conditional	Needs ESI		
25036	Triple K Farms	E. Mahoning	27-006-117 & 27-006-118	Conditional	Needs ESI, NB	4/8-rcvd NB	

Reapproval (90-days expired)

NONE

Land Development

25027	Homer City Dollar General	Brush Valley	08-14-148		

County Review

25028	Joseph W. & Brenda J. Houser	Burrell	10-003-107.02
25029	Bryan & Lisa Hunter	White	42-023-112 & 42-023-113
25036	Karen Riggenbach	Burrell	10-002-133

PROPOSED
SINGLE LOT
SUBDIVISIONS

APRIL 2025



INDIANA COUNTY OFFICE OF PLANNING & DEVELOPMENT

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

FOR OFFICE USE ONLY	
REFERENCE NO.	25030
REVIEW FEE	\$150
FEE RECEIVED?	✓
CHECK NO.	132

1	Plan Name Minor Subdivision for Ervin E. Kuhns, Jr & Lot Consolidation for Grooms	Municipality West Mahoning Township
1a	Parent Parcel Land Owner(s) Name Ervin E. Kuhns, Jr & Betty W. Kuhns	Email Address N/A
	Parent Parcel Address 347 Hillside Lane Dayton 10222	Phone N/A
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS) Grooms Equine Center, LLC	Email Address ross.grooms@gmail
	Recipient Land Owner(s) Address 1410 SR 1018, Dayton, PA 10222	Phone (724) 859-8535
2	Authorized Agent's Name (if different from the information above) N/A	Email Address N/A
	Authorized Agent's Address N/A	Phone N/A
3	Surveyor Kurt L. Martin	Email Address kurtmartin.surveying@yahoo.com
		Phone 814 952 1812

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

0.62 acre parcel to be subdivided from Kuhns and added to Grooms Equine Center, LLC.

5	Class Filter (check all that apply)	Review Type	Plan Type
✓	Class I - Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	✓ New Proposal
	Class II - Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	✓ Final	Revision to Prior
✓	Class III - Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV - Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s) 30-004-106 30-004-105.02			
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Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information			
Sewage	Water Supply	Streets / Roads	
Public	Public	<input checked="" type="checkbox"/>	Public
Community on-site	Community on-site		Private
Individual on-lot	Individual on-lot		New
<input checked="" type="checkbox"/> Non-Building Waiver	New Water Supply	Highway Occupancy Permit	
New Sewage System Permit			

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		<input checked="" type="checkbox"/>
Is the Parcel in an Agricultural Security Area?		<input checked="" type="checkbox"/>
Is the Parcel located in a Floodway or Floodplain?		<input checked="" type="checkbox"/>

- 8 Required for Submission**
- ☒ COMPLETED APPLICATION ☒ PAID APPLICATION FEE
- ☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
- ☐ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ____ Flash Drive ____ Email
- ☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
- ☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

- 9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023**
- Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
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BASE REVIEW FEE	\$150
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	150.00

For your convenience, we accept fee payment by cash, check, or credit card.



**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

10

Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

[Signature] Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

[Signature] Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: _____ Phone: _____

Email: _____

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature X _____

11a

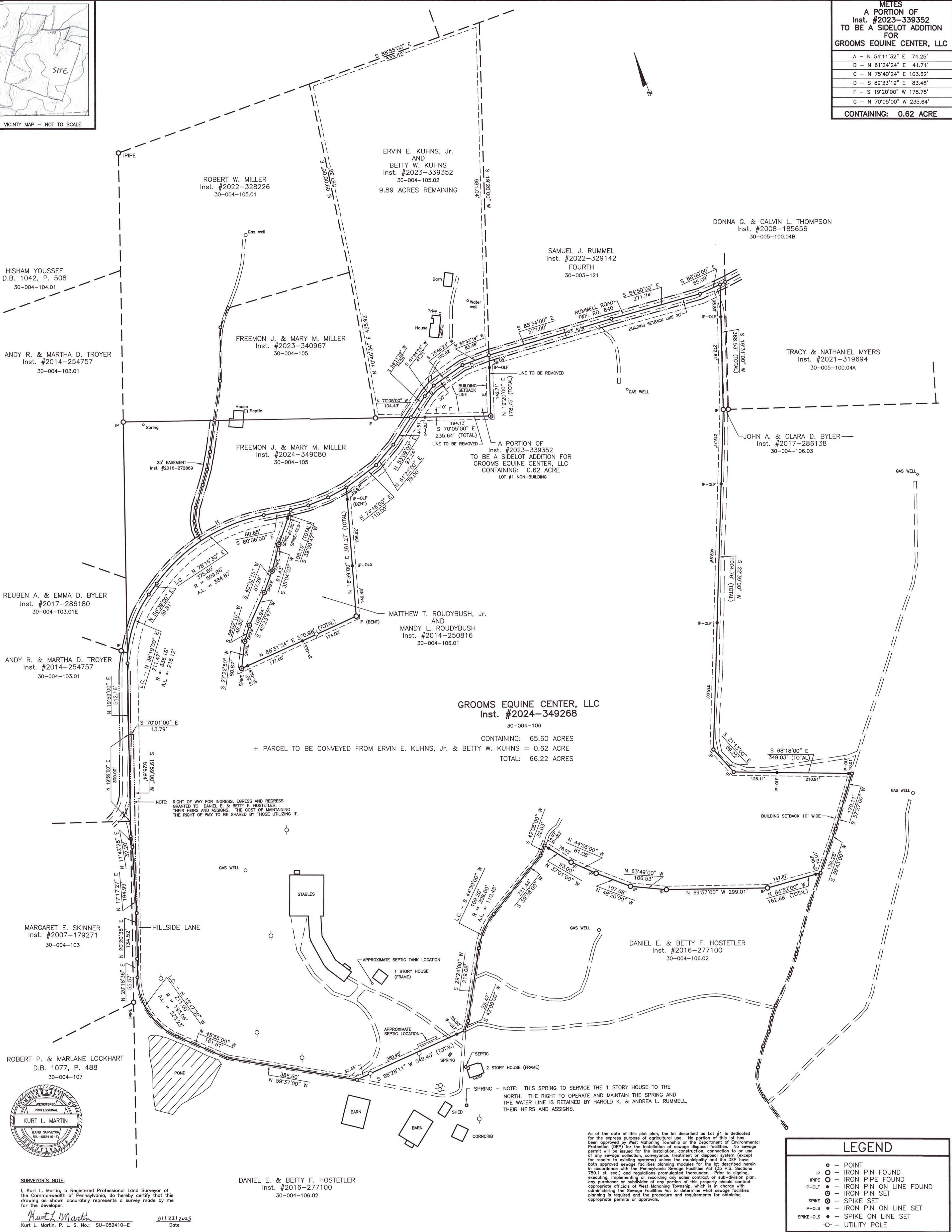
FOR LOT ADDITION SUBDIVISIONS, the owner(s) of the Parent Parcel (PP) and the owner(s) of the Recipient Parcel (RP) must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

* PP Landowner 1 Signature: X *[Signature]* PP Landowner 2 Signature: X *Betty W. Kuhns*

* RP Landowner 1 Signature: X *[Signature]* RP Landowner 2 Signature: X _____



METES	
A PORTION OF	
Inst. #2023-339352	
TO BE A SIDELOT ADDITION	
FOR	
GROOMS EQUINE CENTER, LLC	
A	N 54°11'32" E 74.25'
B	N 61°24'24" E 41.71'
C	N 75°40'24" E 103.62'
D	S 69°33'19" E 83.48'
F	S 19°20'00" W 178.75'
G	N 70°05'00" W 235.64'
CONTAINING: 0.62 ACRE	



IN REGARDS TO SUBDIVISION:
STATEMENT OF INTENT:
WE, Ervin E. Kuhns, Jr. and Betty W. Kuhns, have subdivided land in West Mahoning Township, Indiana County, Pennsylvania, and have shown a lot according to this survey plot which is intended to be recorded in the Indiana County Courthouse.

Ervin E. Kuhns, Jr. and Betty W. Kuhns
Ervin E. Kuhns, Jr. and Betty W. Kuhns
Date: 3-18-25

Notary
On this 18 day of 3, 2025, before me a Notary Public in and for said state and county personally came Ervin E. Kuhns, Jr. and Betty W. Kuhns, known to be the persons whose names are subscribed to the within instrument.

In witness whereof I have here unto set my name and official seal.

Commonwealth of Pennsylvania - Notary Seal
Mary Lynn Lemmon, Notary Public
Indiana County
My commission expires October 19, 2028
Commission number 1210489
Member, Pennsylvania Association of Notaries

IN REGARDS TO LOT CONSOLIDATION:
STATEMENT OF INTENT:
Grooms Equine Center, LLC, (by C. Ross Grooms), desire to consolidate two parcels into one situated in West Mahoning Township, Pennsylvania, and have shown the lots according to this survey plot which is intended to be recorded in the Indiana County Courthouse.

C. Ross Grooms
C. Ross Grooms
Date: 3-18-25

Notary
On this 18 day of 3, 2025, before me a Notary Public in and for said state and county personally came C. Ross Grooms, known to be the person whose name is subscribed to the within instrument.

In witness whereof I have here unto set my name and official seal.

Commonwealth of Pennsylvania - Notary Seal
Mary Lynn Lemmon, Notary Public
Indiana County
My commission expires October 19, 2028
Commission number 1210489
Member, Pennsylvania Association of Notaries

This subdivision has been reviewed
by a Supervisor or Secretary of
West Mahoning Township
on this 22nd day of January, 2025.

Chairman or Secretary
Chairman or Secretary

Approval Granted by the Indiana County Planning Commission
This ___ day of ___, 20__.

Chair
Secretary

LEGEND	
●	POINT
IP	IRON PIN FOUND
IPIPE	IRON PIPE FOUND
IP-OLF	IRON PIN ON LINE FOUND
●	IRON PIN SET
SPK	SPIKE SET
IP-OLS	IRON PIN ON LINE SET
SPK-OLS	SPIKE ON LINE SET
—	UTILITY POLE

MINOR SUBDIVISION FOR
ERVIN E. KUHN, Jr.
AND
BETTY W. KUHN
AND
LOT CONSOLIDATION FOR
GROOMS EQUINE CENTER, LLC
SITUATE: WEST MAHONING TOWNSHIP,
INDIANA COUNTY, PENNSYLVANIA
SURVEY BY: KURT L. MARTIN, P. L. S. NO. SU-052410-E
315 SNYDER HILL ROAD
PUNXSUTAWNEY, PA 15767
(814)938-8053
DATE: DECEMBER 21, 2024
DRAWING BY: K. L. MARTIN
DATE: DECEMBER 26, 2024
SCALE: 1" = 125' ORIGINAL PAPER SIZE: 24" X 36"



**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25031
REVIEW FEE	675
FEE RECEIVED?	✓
CHECK NO.	0151

1	Plan Name Robert & Patricia Gatskie	Municipality Rayne
1a	Parent Parcel Land Owner(s) Name Robert M. & Patricia J. Gatskie	Email Address bulletgatskie@yahoo.com
	Parent Parcel Address 1685 Washington Road Marion Center, Pa 15759	Phone (724) 541-4192
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS)	Email Address
	Recipient Land Owner(s) Address	Phone
2	Authorized Agent's Name (if different from the information above) Carson Houser	Email Address chouser@wjyaengineers.com
	Authorized Agent's Address 2039 South 6th Street Indiana, Pa 15701	Phone 724-422-0335
3	Surveyor Young & Associates	Email Address chouser@wjyaengineers.com
		Phone 724-422-0335

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

Proposed Lot No. 1 will be subdivided from part of parcel 35-008-110 & 38-008-110.02. Lot No. 1 has on lot water and sewage. Proposed Lot No. 2 will be part of parcel 38-008-110.02 and has on lot water and sewage.

Proposed Lot No.1 of Parcel 35-008-110.02 will also include part of parcel 35-008-110. This lot will be a non-building lot.

5	Class Filter (check all that apply)	Review Type	Plan Type
	Class I – Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	✓ New Proposal
	Class II – Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	✓ Final	Revision to Prior
✓	Class III – Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV – Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s)	35-008-110.02	35-008-110			
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Indiana County **Subdivision & Land Development Application** **Class I, II, III & IV Proposals**

7 Plan Information				
	Sewage	Water Supply	Streets / Roads	
	Public	Public	✓	Public
	Community on-site	Community on-site		Private
✓	Individual on-lot	✓ Individual on-lot		New
	Non-Building Waiver	New Water Supply		Highway Occupancy Permit
	New Sewage System Permit			

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		✓
Is the Parcel in an Agricultural Security Area?		✓
Is the Parcel located in a Floodway or Floodplain?		✓

8 Required for Submission

- ☒ COMPLETED APPLICATION ☐ PAID APPLICATION FEE
☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
☒ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ☐ Flash Drive ☒ Email
☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

- 9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023**
 Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
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BASE REVIEW FEE	75.00
NO. OF NEW LOTS (Class IV)	↓
X \$10.00 =	↓
TOTAL REVIEW FEE	\$ 15.00

For your convenience, we accept fee payment by cash, check, or credit card.



**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

10

Understandings and Agreements

Please initial to acknowledge each requirement

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RG Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

RG Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Carson Houser Phone: 724-422-0335

Email: chouser@wjaengineers.com

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature ☒ Robert M Gatskie

11a

FOR LOT ADDITION SUBDIVISIONS, the **owner(s) of the Parent Parcel (PP)** and the **owner(s) of the Recipient Parcel (RP)** must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: ☒ Robert M Gatskie PP Landowner 2 Signature: ☒ Patricia J Gatskie
RP Landowner 1 Signature: ☒ Robert M Gatskie RP Landowner 2 Signature: ☒ Patricia J Gatskie



INDIANA COUNTY OFFICE OF PLANNING & DEVELOPMENT

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

Applicant Signature: ☒ _____

12

Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

Parent Parcel	Recipient Parcel			
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature <input checked="" type="checkbox"/>	

NOTES:

1. THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
2. BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
3. IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
4. PROPOSED LOTS NO. 1 & 2 CONTAIN DWELLINGS SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.
5. BUILDINGS NOT TO BE CONSTRUCTED WHERE LOT WIDTH IS LESS THAN 150'.

NOTICE:

AS OF THE DATE OF THIS LOT PLAN RECORDING, THE REMAINDER PARCEL AS SHOWN HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESSED PURPOSE OF NON-BUILDING USE (AGRICULTURAL USE). NO PORTION OF THIS PROPERTY HAS BEEN APPROVED BY RAYNE TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE DISPOSAL PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.P. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE REMAINDER PARCEL AS DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT, ANY PURCHASER SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY, WHICH IS CHARGED WITH ADMINISTERING THE ACT, TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURES FOR OBTAINING APPROPRIATE PERMITS.

We, Robert M. & Patricia J. Gatskie have designed for our land situated in Township of Rayne, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness our hand and seal.

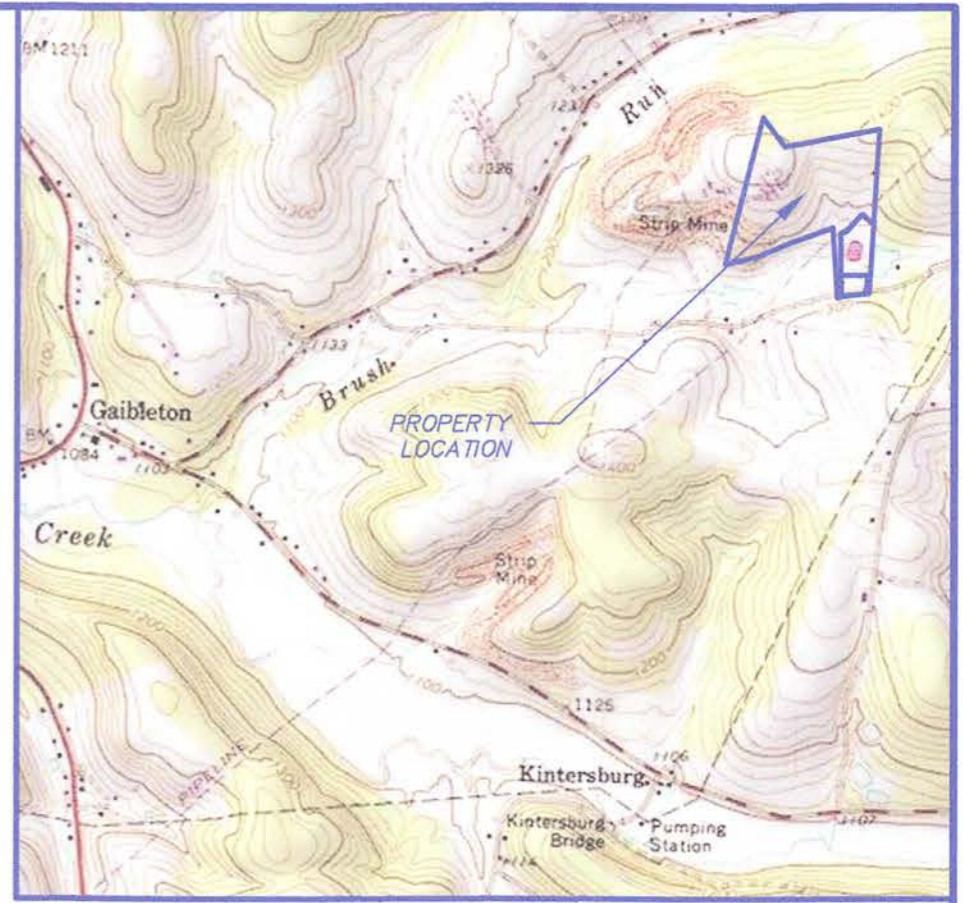
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF _____)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared _____

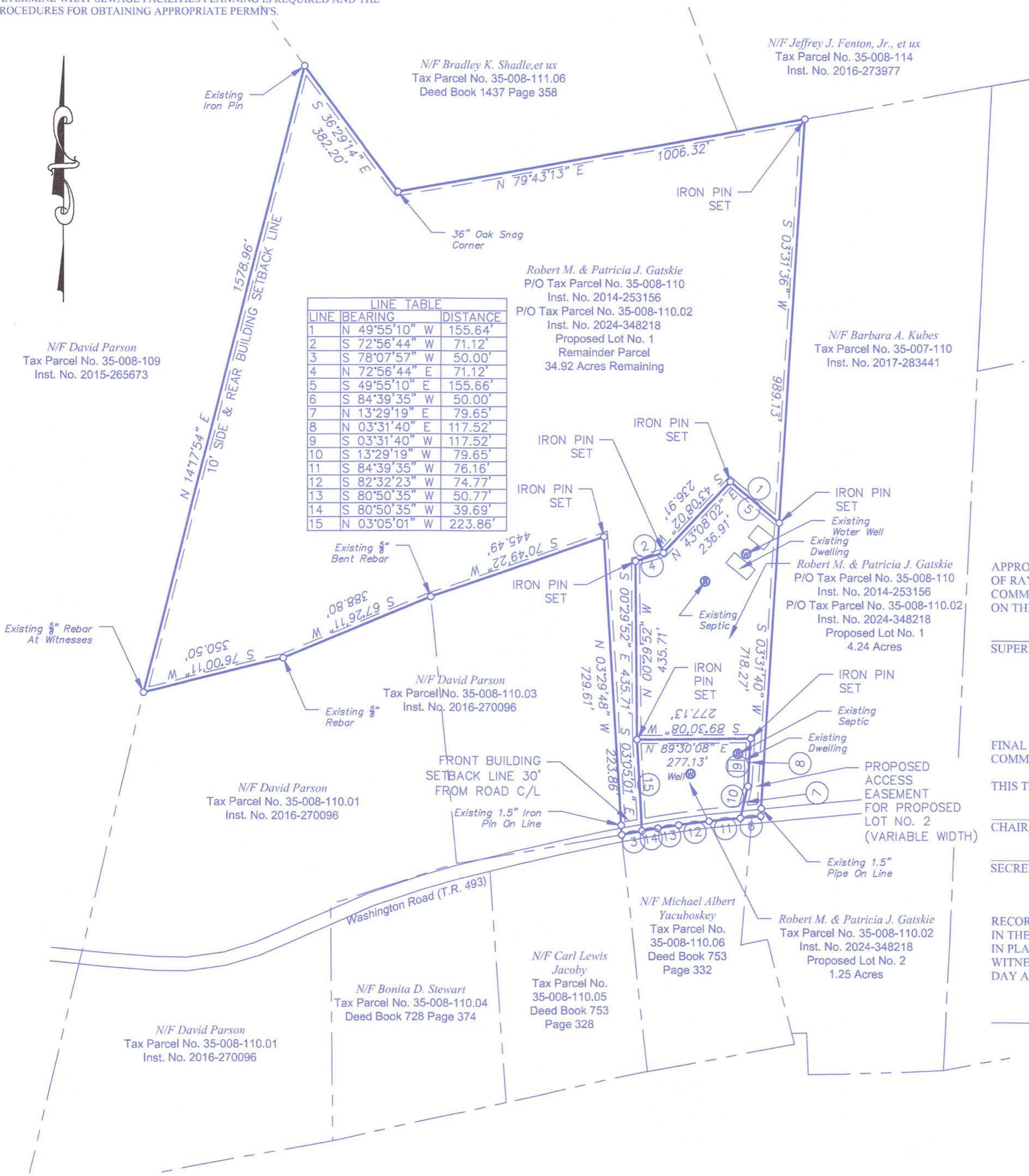
who acknowledge this plan to be the official plan of lots and streets, for their property located in the Township of Rayne, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____



LOCATION MAP
SCALE: 1" = 2000'



APPROVAL BY RESOLUTION OF TOWNSHIP SUPERVISORS OF RAYNE TOWNSHIP, COUNTY OF INDIANA, COMMONWEALTH OF PENNSYLVANIA, AT MEETING HELD ON THE 3 DAY OF April 2025

SUPERVISORS
Juendi K. Struttmatter

FINAL APPROVAL GRANTED BY INDIANA COUNTY PLANNING COMMISSION

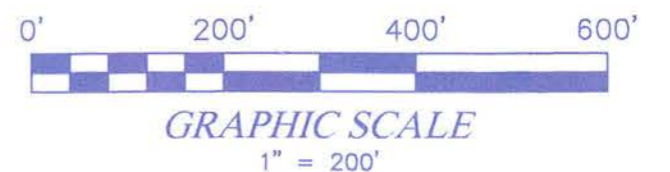
THIS THE _____ DAY OF _____ 20____

CHAIR

SECRETARY

RECORDED THIS _____ DAY OF _____, 20____
IN THE REGISTER AND RECORDER OF DEEDS OFFICE
IN PLAN BOOK VOLUME _____ PAGE _____
WITNESS MY HAND AND OFFICIAL SEAL ON THE
DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS



I, Robert Sutor Botsford, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

3-26-25
Date

Signature of Surveyor



SEAL

PROPOSED MINOR SUBDIVISION

prepared for

ROBERT &
PATRICIA GATSKIE

situated in:

RAYNE TOWNSHIP, INDIANA COUNTY, PA

ISSUED: 3/14/2025

JOB: 25032

SCALE: 1" = 200'

FILE: GATSKIE

DRAWN BY: J.N.S.

CHECKED BY: R.S.B.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@yjaengineers.com

SHEET NO:

1

NO.	DATE	DESCRIPTION



**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25032
REVIEW FEE	\$75
FEE RECEIVED?	✓
CHECK NO.	VHHFRVWKVP

1	Plan Name Bicar	Municipality South Mahoning Crawfordsburg
1a	Parent Parcel Land Owner(s) Name Donald & Debra Bicker	Email Address
	Parent Parcel Address 3855 Barnard Road Dayton PA 16222	Phone 814 952 7814
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS) Brian & Val Bicker	Email Address Nakrie.bicar@gmail.com
	Recipient Land Owner(s) Address 194 Sunrise Road Dayton PA 16222	Phone 724 525 2639
2	Authorized Agent's Name (if different from the information above) 	Email Address
	Authorized Agent's Address 	Phone
3	Surveyor Lantzy Surveying	Phone 724 388 3601

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

Subdivision to adjoining relatives property
Approx 4 Acres

5	Class Filter (check all that apply)	Review Type	Plan Type
	Class I - Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	New Proposal
	Class II - Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	Final	Revision to Prior
	Class III - Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV - Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s) 29-001-100-01				
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Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information		
Sewage	Water Supply	Streets / Roads
Public	Public	Public
Community on-site	Community on-site	Private
Individual on-lot	Individual on-lot	New
Non-Building Waiver	New Water Supply	Highway Occupancy Permit
New Sewage System Permit		

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?	X	
Is the Parcel in an Agricultural Security Area?		X
Is the Parcel located in a Floodway or Floodplain?		X

8 Required for Submission

- ☒ COMPLETED APPLICATION ☒ PAID APPLICATION FEE
- ☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
- ☐ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ___ Flash Drive ___ Email
- ☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
- ☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023

Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
----------------	---------

BASE REVIEW FEE	\$75
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	\$75

For your convenience, we accept fee payment by cash, check, or credit card.



**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

10 Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

DRB Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

DRB Yes, I understand and agree to accept the requirement

11 Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: _____ Phone: _____

Email: _____

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature x Donald R Biker

11a

FOR LOT ADDITION SUBDIVISIONS, the **owner(s) of the Parent Parcel (PP)** and the **owner(s) of the Recipient Parcel (RP)** must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: x Donald R Biker PP Landowner 2 Signature: x Donald R Biker
RP Landowner 1 Signature: x Donna Biker RP Landowner 2 Signature: x Donna Biker



INDIANA COUNTY OFFICE OF PLANNING & DEVELOPMENT

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

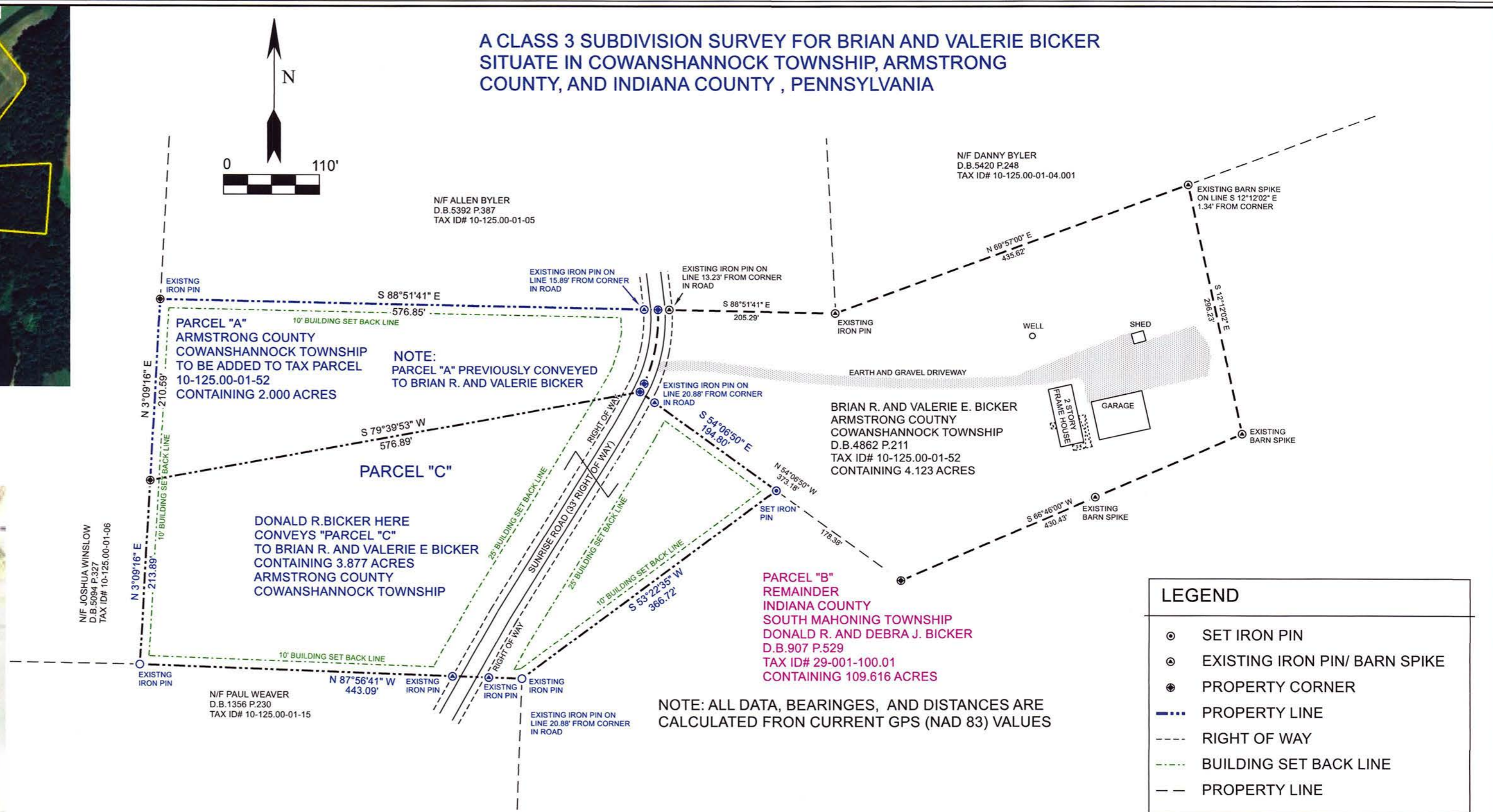
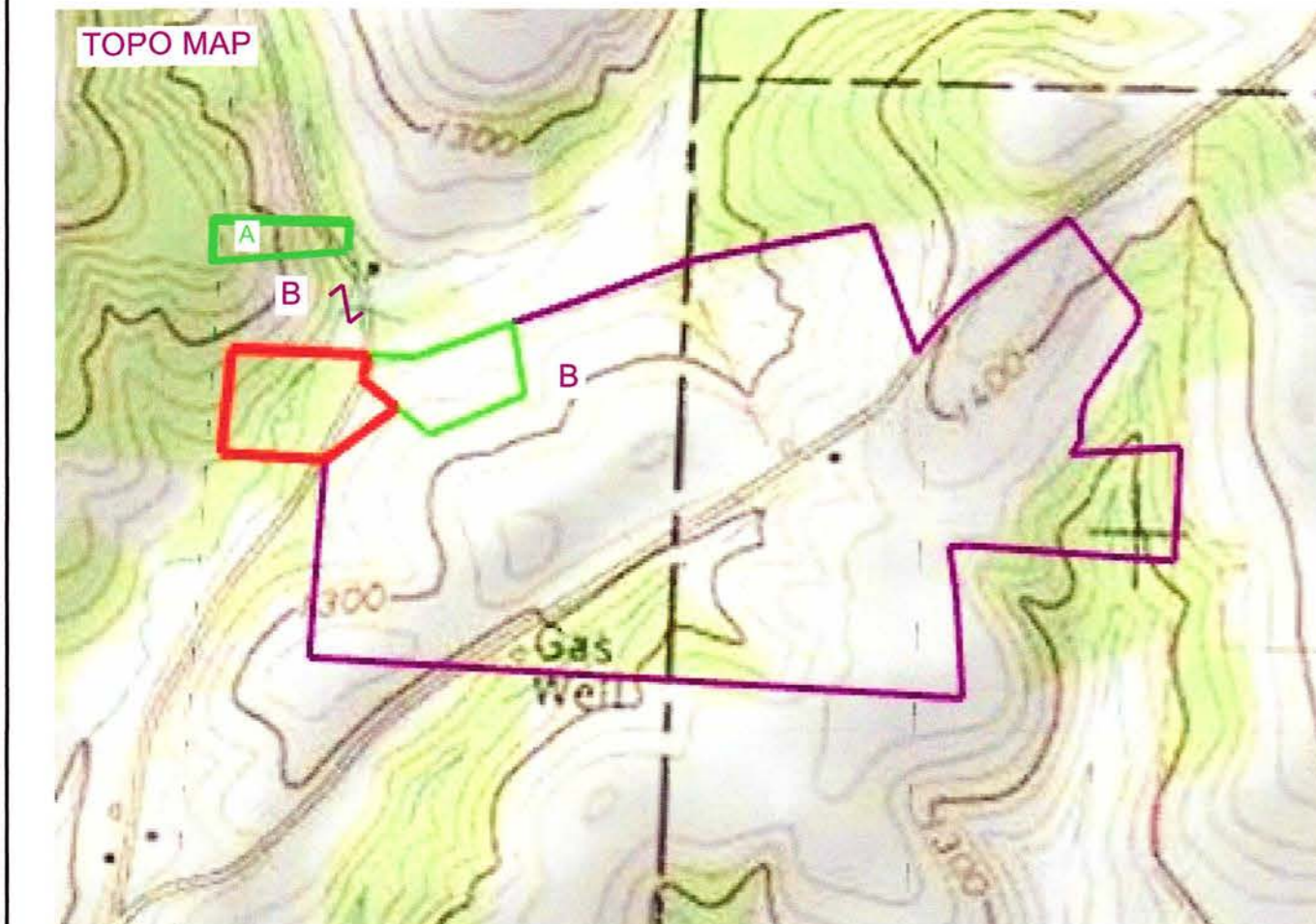
Applicant Signature: X

[Handwritten Signature]

12

Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

Parent Parcel	Recipient Parcel	Land Owner(s) Name	Email Address	Phone	Land Owner(s) Address	Land Owner(s) Signature
						X
						X
						X
						X
						X
						X
						X
						X



Armstrong County Planning Commission

Final plan approval granted by the Armstrong County Planning Commission/ Staff, this ___ day of ___ 20__

Staff _____

LAND OWNERS DECLARATION OF INTENT

I, _____, Being duly affirmed to the law depose that I am the owner of record of the lands shown herein being considered for subdivision approval. In addition I have reviewed the plans and am in agreement with what is presented for approval.

Date _____ Signature of Property Owner _____

INDIANA COUNTY APPROVAL

FINAL APPROVAL GRANTED BY THE INDIANA COUNTY PLANNING COMMISSION

DATE: _____

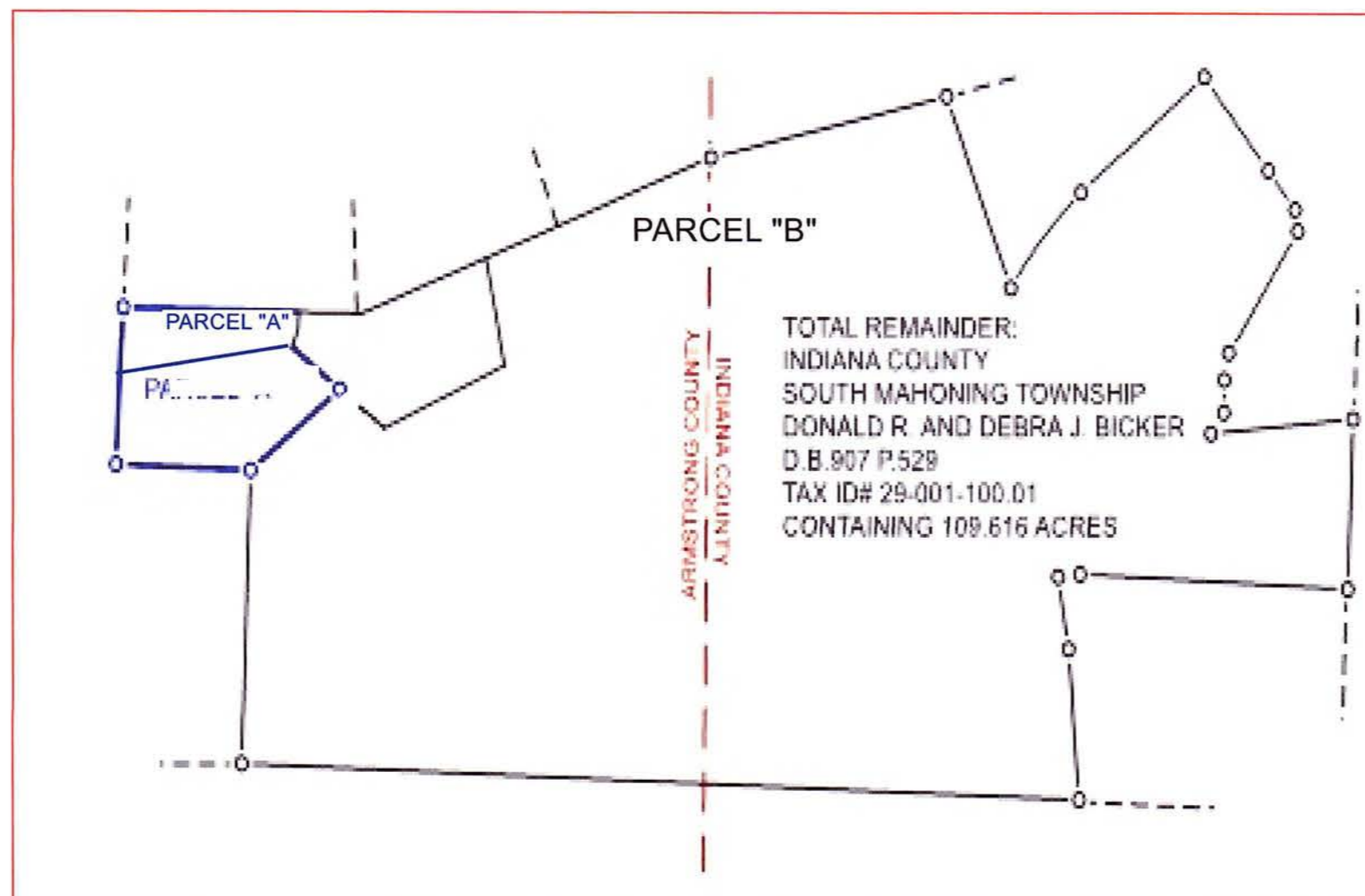
SIGNED: _____, CHAIR

SIGNED: _____, SECRETARY

CERTIFICATION BY PROFESSIONAL LAND SURVEYOR

I, F. Joseph Lantzy P.L.S., a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan shown hereon is based upon an actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owner.

3-31-2025 Date _____ Signature of Surveyor _____



NON-BUILDING DECLARATION

AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE SUBDIVISION DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. NO PORTION OF PARCEL "A" AND "B" HAS BEEN APPROVED BY COWANSHANNOCK TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL RESOURCES FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR THE USE OF ANY COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.R. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF COWANSHANNOCK TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING THE APPROPRIATE PERMITS OR APPROVALS.

Building setbacks are 30' from the centerline of all abutting public roadways and 10' from all other property lines



LANTZY SURVEYING

F. JOSEPH LANTZY P.L.S.
1891 HANGING ROCK ROAD
CREEKSIDE, PA. 15732
724-388-3601

FINAL REVIEW BY THE

BOARD OF SUPERVISORS OF SOUTH MAHONING TOWNSHIP, INDIANA COUNTY, PENNSYLVANIA, ON THIS THE 1 OF April, 2025

ARMSTRONG RECORDER

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF ARMSTRONG
ON THIS THE ___ DAY OF ___, 20__
BEFORE ME, THE RECORDER OF DEEDS, IN AND FOR THE STATE AND COUNTY, PERSONALLY APPEARED

WHO IN DUE FORM ACKNOWLEDGES THE WITHIN PLAN TO BE HIS ACT AND DEED, AND DESIRES THE SAME TO BE RECORDED AS SUCH, IN WITNESS THEREOF, I HEREUNTO SET MY HAND AND SEAL.

FILE NAME		
BICKER SUB DWG IND ARMSTRONG2A.trv		
SCALE	DATE	DRAWN BY
110 Ft/In	3-31-2025	JEL/FJL
JOB	REVISION	SHEET
BOUNDARY	0	1/1

This map drawn with TRAVERSE PC Software

**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25033
REVIEW FEE	\$225
FEE RECEIVED?	✓
CHECK NO.	6150

1	Plan Name William S. & Ginger B. McCoy	Municipality Buffington
1a	Parent Parcel Land Owner(s) Name William S. & Ginger B. McCoy	Email Address chouser@wjyaengineers.com
	Parent Parcel Address 225 Old Mill Road Penn Run, Pa 15765	Phone 724-762-5927
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS) William S. & Ginger B. McCoy	Email Address chouser@wjyaengineers.com
	Recipient Land Owner(s) Address	Phone 724-422-0335
2	Authorized Agent's Name (if different from the information above) Carson Houser	Email Address chouser@wjyaengineers.com
	Authorized Agent's Address 2039 South 6th Street Indiana, Pa 15701	Phone 724-422-0335
3	Surveyor Young & Assoc	Phone 724-422-0335

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

William McCoy would like to subdivide Proposed Lot No. 1 (0.23 acres) from parcel 09-001-113. He would then like to consolidate proposed Lot No.1 with parcel 09-001-114.01 for a combined acreage of 0.42 acres. The 0.42 acres would be a side lot additon/ Lot consolidation with parcel 09-001-114.

5	Class Filter (check all that apply)	Review Type	Plan Type
	Class I – Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	New Proposal
	Class II – Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	✓ Final	Revision to Prior
✓	Class III – Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV – Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s)	09-001-113	09-001-114	09-001-114.01		
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Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information			
Sewage	Water Supply	Streets / Roads	
Public	Public	✓	Public
Community on-site	Community on-site		Private
✓ Individual on-lot	✓ Individual on-lot		New
Non-Building Waiver	New Water Supply		Highway Occupancy Permit
New Sewage System Permit			

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		✓
Is the Parcel in an Agricultural Security Area?		✓
Is the Parcel located in a Floodway or Floodplain?		✓

8 Required for Submission

- ☒ COMPLETED APPLICATION
 ☒ PAID APPLICATION FEE
- ☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
- ☐ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ___ Flash Drive ☒ Email
- ☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
- ☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

- 9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023**
 Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
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BASE REVIEW FEE	\$ 225.00
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	\$ 225.00

For your convenience, we accept fee payment by cash, check, or credit card.

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

10

Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

Wsm Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

Wsm Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Carson Houser Phone: 724-422-0335

Email: Chouser@wjvaengineers.com

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature ☒ William S. McCoy

11a FOR LOT ADDITION SUBDIVISIONS, the owner(s) of the Parent Parcel (PP) and the owner(s) of the Recipient Parcel (RP) must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: ☒ William S. McCoy PP Landowner 2 Signature: ☒ _____

RP Landowner 1 Signature: ☒ William S. McCoy RP Landowner 2 Signature: ☒ _____

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

Applicant Signature: ☒



12

Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

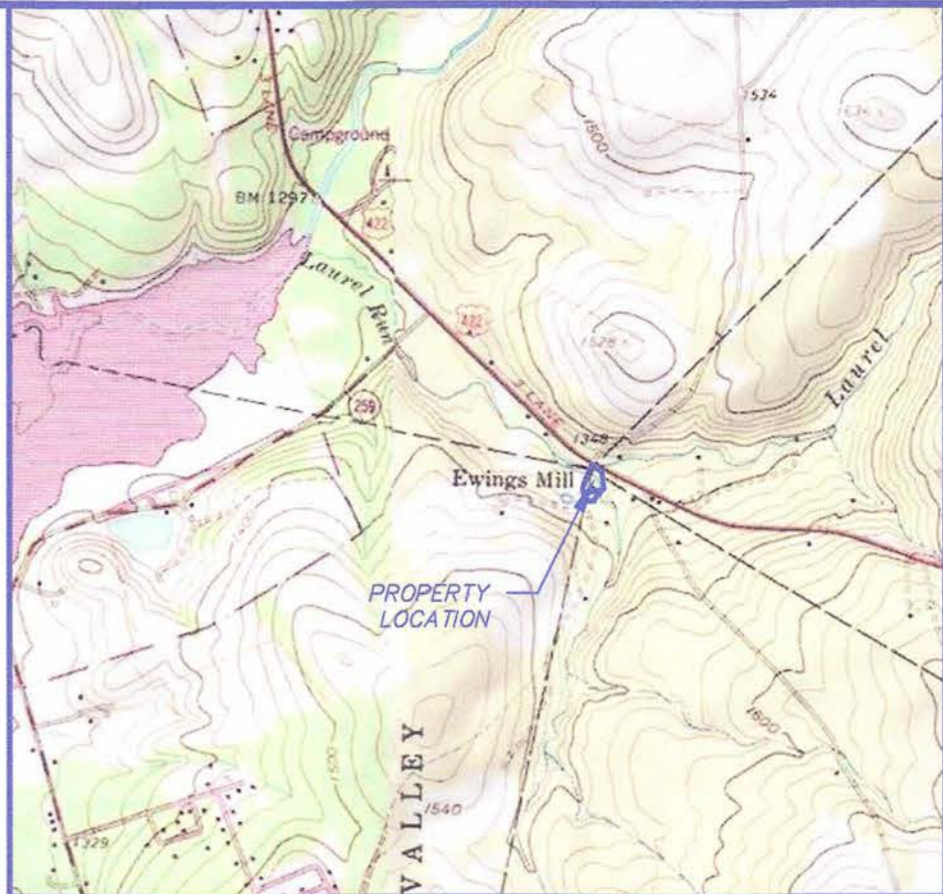
Parent Parcel	Recipient Parcel	Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	<input checked="" type="checkbox"/>

NOTES:

1. THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
2. BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
3. IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
4. PROPOSED LOT NO. 1 IS TO BE CONSOLIDATED WITH TAX PARCEL NO. 09-001-114.01 AND ADDED AS A SIDE LOT ADDITION TO EXISTING ADJACENT LANDS OF WILLIAM S. & GINGER B. MCCOY, TAX PARCEL NO 09-001-114.
5. TAX PARCEL 09-001-114 CONTAINS A DWELLING SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.
6. THE REMAINDER PARCEL CONTAINS A DWELLING SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER.

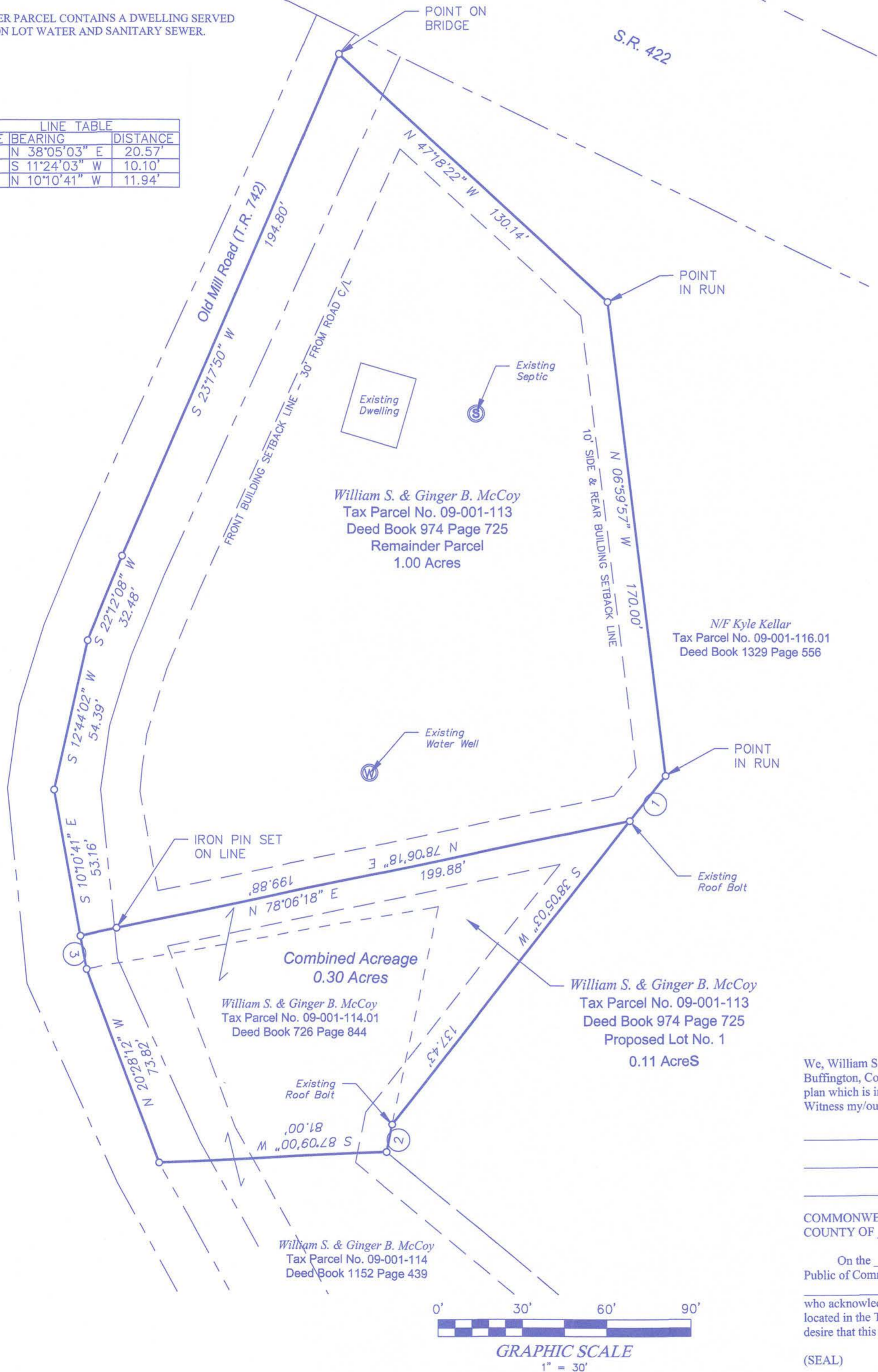
NOTICE:

AS OF THE DATE OF THIS LOT PLAN RECORDING, THE REMAINDER PARCEL AS SHOWN HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESSED PURPOSE OF NON-BUILDING USE. NO PORTION OF THIS LOT HAS BEEN APPROVED BY BUFFINGTON TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE DISPOSAL PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.P. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE REMAINDER PARCEL AS DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT, ANY PURCHASER SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY, WHICH IS CHARGED WITH ADMINISTERING THE ACT, TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURES FOR OBTAINING APPROPRIATE PERMITS.



LOCATION MAP
SCALE: 1" = 2000'

LINE TABLE		
LINE	BEARING	DISTANCE
1	N 38°05'03" E	20.57'
2	S 11°24'03" W	10.10'
3	N 10°10'41" W	11.94'



REVIEWED BY BUFFINGTON TOWNSHIP, COUNTY OF INDIANA, COMMONWEALTH OF PENNSYLVANIA ON THE 7 DAY OF April 2025
SUPERVISOR / SECRETARY

FINAL APPROVAL GRANTED BY INDIANA COUNTY PLANNING COMMISSION

THIS THE DAY OF 20

CHAIR

SECRETARY

RECORDED THIS DAY OF 20
IN THE REGISTER AND RECORDER OF DEEDS OFFICE
IN PLAT BOOK VOLUME PAGE
WITNESS MY HAND AND OFFICIAL SEAL ON THE
DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS

We, William S. & Ginger B. McCoy, have designed for my/our land situated in Township of Buffington, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness my/our hand and seal.

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF)

On the day of 20, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared

who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of Buffington, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires

I, Robert Sutor Botsford, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

4/7/2025 SEAL Signature of Surveyor



SEAL

PROPOSED MINOR SUBDIVISION/LOT CONSOLIDATION

prepared for
WILLIAM S. & GINGER B. MCCOY

situated in:
BUFFINGTON TOWNSHIP, INDIANA COUNTY, PA

ISSUED: 2/27/2025 JOB: 25085 SCALE: 1" = 30'
FILE: MCCOY DRAWN BY: J.N.S. CHECKED BY: C.G.H.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@wjaengineers.com

SHEET NO:

1

NO.	DATE	DESCRIPTION
REVISIONS		

**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25834
REVIEW FEE	\$75
FEE RECEIVED?	✓
CHECK NO.	0389

1	Plan Name Jarrett Sherry	Municipality Green
1a	Parent Parcel Land Owner(s) Name Jarrett O. Sherry & Paul T. Sherry, Jr. Parent Parcel Address 492 Acorn Road, Commodore PA 15729	Email Address orlo4130@gmail.com Phone 724-422-3292
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS) Recipient Land Owner(s) Address	Email Address Phone
2	Authorized Agent's Name (if different from the information above) Carson Houser Authorized Agent's Address 2039 South 6th Street Indiana PA 15701	Email Address chouser@wjyaengineers.com Phone 724-422-0335
3	Surveyor Carson Houser	Email Address chouser@wjyaengineers.com Phone 724-422-0335

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

Subdivide a new residential Lot around existing dwelling and structures from Parcel 20-009-126.

5	Class Filter (check all that apply)	Review Type	Plan Type
	Class I – Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	✓ New Proposal
	Class II – Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	✓ Final	Revision to Prior
✓	Class III – Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV – Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s)	20-009-126			
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Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information			
Sewage	Water Supply	Streets / Roads	
Public	Public	✓	Public
Community on-site	Community on-site		Private
✓ Individual on-lot	✓ Individual on-lot		New
Non-Building Waiver	New Water Supply	Highway Occupancy Permit	
New Sewage System Permit			

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		✓
Is the Parcel in an Agricultural Security Area?		✓
Is the Parcel located in a Floodway or Floodplain?		✓

8 Required for Submission

- ☒ COMPLETED APPLICATION ☐ PAID APPLICATION FEE
☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
☒ DIGITAL DRAWING AND APPLICATION MATERIALS (**ONLY UPON REQUEST**): ___ Flash Drive ☒ Email
☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023

Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
----------------	---------

BASE REVIEW FEE	\$ 75.00
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	\$ 75.00

For your convenience, we accept fee payment by cash, check, or credit card.

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

10

Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

X Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

X Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

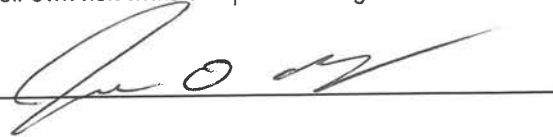
I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Carson Houser Phone: 724-422-0335

Email: chouser@hgyaengineers.com

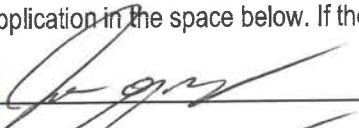
I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature X



11a FOR LOT ADDITION SUBDIVISIONS, the **owner(s) of the Parent Parcel (PP)** and the **owner(s) of the Recipient Parcel (RP)** must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: X



PP Landowner 2 Signature: X



RP Landowner 1 Signature: X



RP Landowner 2 Signature: X



Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

Applicant Signature: ☒ 

12

Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

Parent Parcel	Recipient Parcel	Land Owner(s) Name	Email Address	Phone
		Paul T. Sherry		
		Land Owner(s) Address	Land Owner(s) Signature	
		494 Acorn Rd Commodore PA 15729	<input checked="" type="checkbox"/> Paul T. Sherry	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	

NOTES:

1. THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
2. BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
3. IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
4. BUILDING SETBACK LINES AS PER INDIANA COUNTY SALDO:
 - 30' FROM ROAD C/L
 - 10' FROM SIDE AND REAR PROPERTY LINES

We, Jarrett O. Sherry & Paul T. Sherry, Jr., have designed for our land situated in Township of Green, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.

Witness my/our hand and seal.

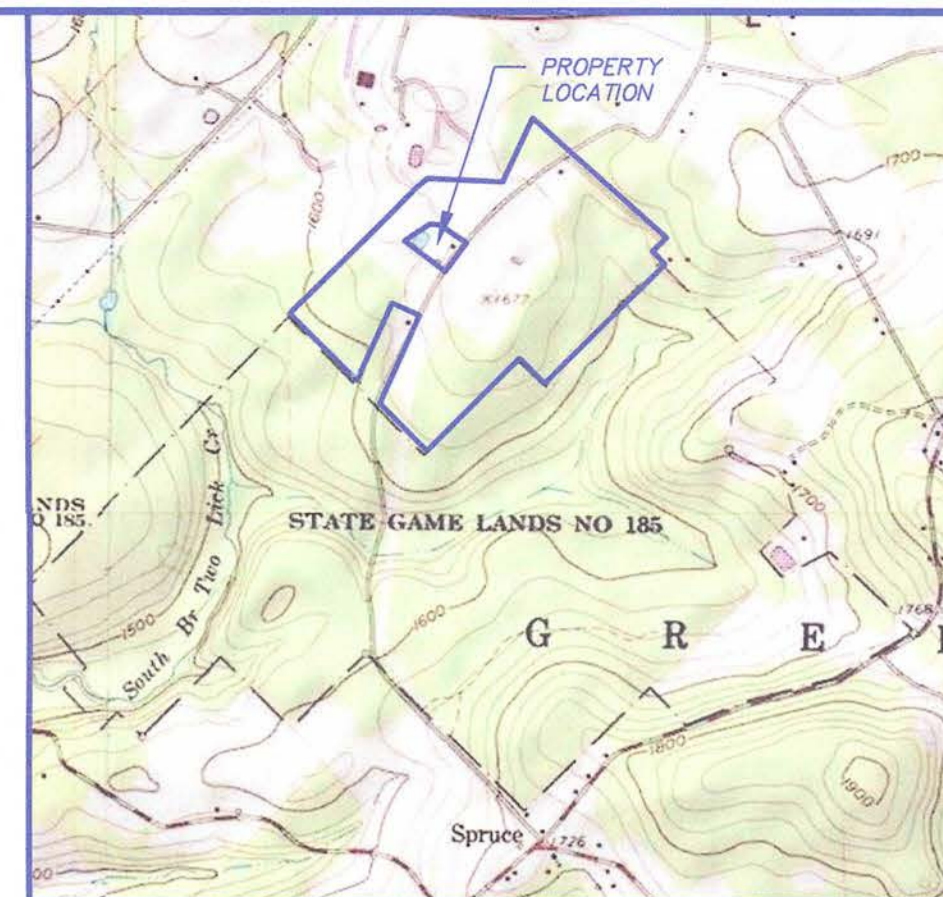
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared _____

who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of Green, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____



LOCATION MAP
SCALE: 1" = 2000'

NOTICE:

AS OF THE DATE OF THIS LOT PLAN RECORDING, THE REMAINDER PARCEL AS SHOWN HEREIN ARE AND SHALL BE DEDICATED FOR THE EXPRESSED PURPOSE OF NON-BUILDING USE. NO PORTION OF THIS LOT HAS BEEN APPROVED BY GREEN TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE DISPOSAL PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.P. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE REMAINDER PARCEL DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT, ANY PURCHASER SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY, WHICH IS CHARGED WITH ADMINISTERING THE ACT, TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURES FOR OBTAINING APPROPRIATE PERMITS.

REVIEWED BY GREEN TOWNSHIP, COUNTY OF INDIANA, COMMONWEALTH OF PENNSYLVANIA ON THE 27 DAY OF APRIL 2025

SUPERVISOR / SECRETARY

FINAL APPROVAL GRANTED BY INDIANA COUNTY PLANNING COMMISSION

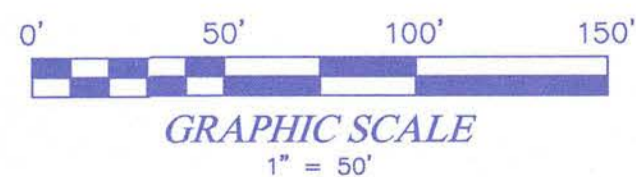
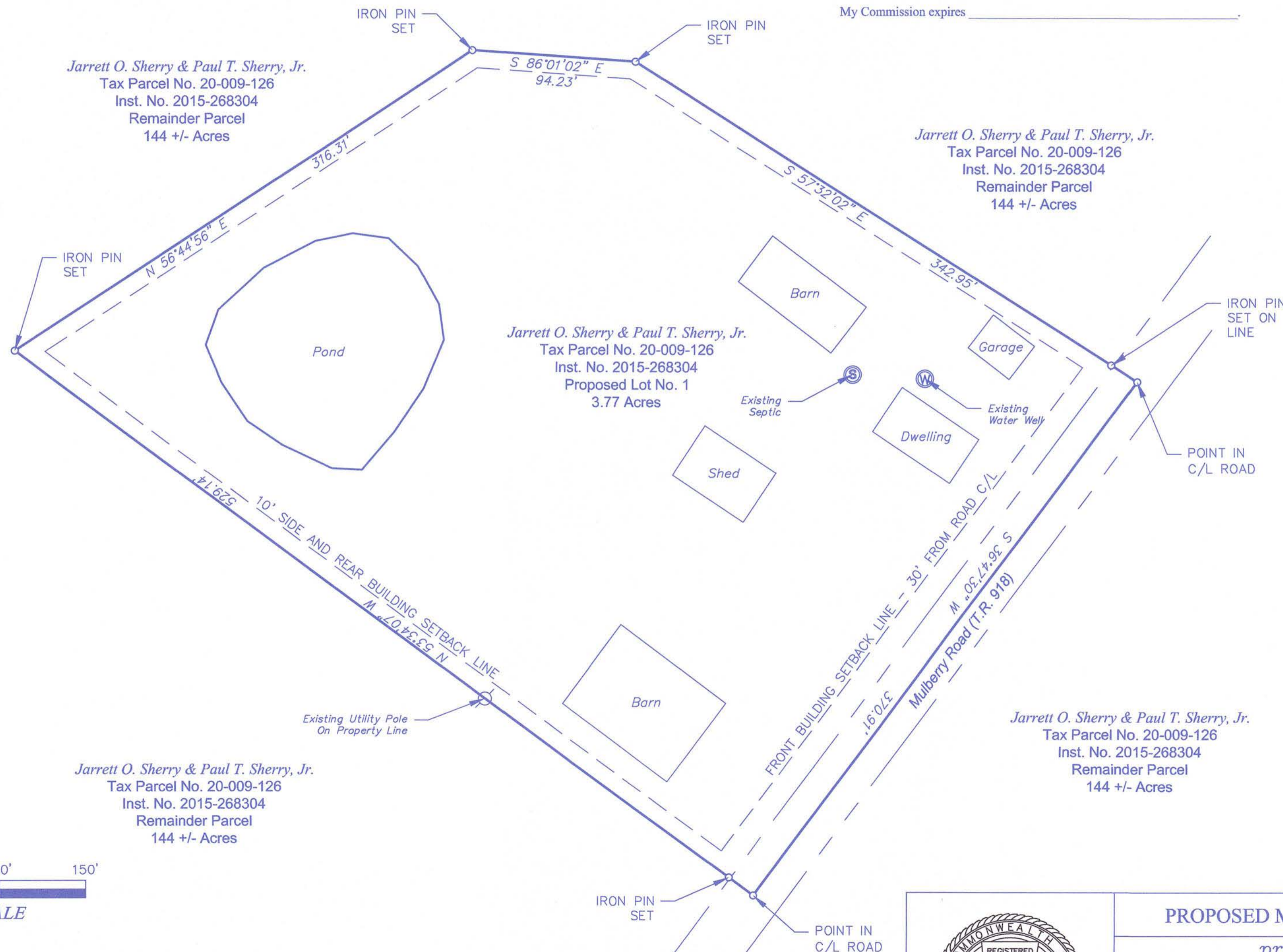
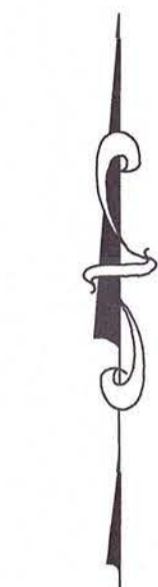
THIS THE _____ DAY OF _____, 20____.

CHAIR

SECRETARY

RECORDED THIS _____ DAY OF _____, 20____
IN THE REGISTER AND RECORDER OF DEEDS OFFICE
IN PLAT BOOK VOLUME _____ PAGE _____
WITNESS MY HAND AND OFFICIAL SEAL ON THE
DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS



I, Carson Grant Houser, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

3/20/2025 Date Signature of Surveyor

NO.	DATE	DESCRIPTION
REVISIONS		



SEAL

PROPOSED MINOR SUBDIVISION

prepared for

JARRETT SHERRY

situated in:

GREEN TOWNSHIP, INDIANA COUNTY, PA

ISSUED: 3/11/2025 JOB: 25100 SCALE: 1" = 50'
FILE: SHERRY DRAWN BY: J.N.S. CHECKED BY: C.G.H.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@wyjaengineers.com

SHEET NO:

1

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

FOR OFFICE USE ONLY	
REFERENCE NO.	25035
REVIEW FEE	\$ 150
FEE RECEIVED?	✓
CHECK NO.	0388

1	Plan Name Lucinda B. & Edward A. Deitman	Municipality Green Township
1a	Parent Parcel Land Owner(s) Name Lucinda B. & Edward A. Deitman	Email Address
	Parent Parcel Address 1445 Larch Road Clymer Pa 15728	Phone
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS) Edward J. Deitman	Email Address
	Recipient Land Owner(s) Address 1291 Larch Road Clymer, Pa 15728	Phone 724-388-9924
2	Authorized Agent's Name (if different from the information above) Carson Houser	Email Address chouser@wjaengineers.com
	Authorized Agent's Address	Phone 724-422-0335
3	Surveyor Young & Associates	Email Address chouser@wjaengineers.com
		Phone 724-422-0335

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

Proposed Lot No. 1 will be subdivided from parcel 20-025-137.02 as a side lot addition to parcel 20-025-137. Remaining parcel has on lot water and sewage.

5	Class Filter (check all that apply)	Review Type	Plan Type
✓	Class I – Survey Correction, Plat Adjustment and Lot Consolidation	Preliminary	✓ New Proposal
	Class II – Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	✓ Final	Revision to Prior
✓	Class III – Minor Subdivision (3 lots or less, no public improvements)	Revision	Phase of Revision
	Class IV – Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s)	20-025-137	20-025-137.02			
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Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information				
	Sewage		Water Supply	Streets / Roads
	Public		Public	✓ Public
	Community on-site		Community on-site	Private
✓	Individual on-lot	✓	Individual on-lot	New
	Non-Building Waiver			
	New Sewage System Permit		New Water Supply	Highway Occupancy Permit

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		✓
Is the Parcel in an Agricultural Security Area?		✓
Is the Parcel located in a Floodway or Floodplain?		✓

8 Required for Submission

- ☒ COMPLETED APPLICATION ☐ PAID APPLICATION FEE
☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
☒ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ☐ Flash Drive ☒ Email
☐ ZONING FROM MUNICIPALITY (IF APPLICABLE)
☐ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023

Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
----------------	---------

BASE REVIEW FEE	\$ 150.00
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	\$ 150.00

For your convenience, we accept fee payment by cash, check, or credit card.

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

10

Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

LD Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

LD Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Carson Houser Phone: 724-422-0335

Email: CHouser@jvergness.com

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature ☒ Lucinda Dietman

11a

FOR LOT ADDITION SUBDIVISIONS, the **owner(s) of the Parent Parcel (PP)** and the **owner(s) of the Recipient Parcel (RP)** must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: ☒ Lucinda Dietman PP Landowner 2 Signature: ☒ _____

RP Landowner 1 Signature: ☒ Ed Dietman RP Landowner 2 Signature: ☒ _____

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

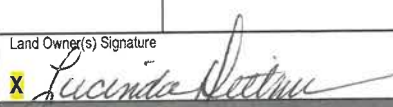
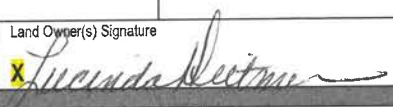
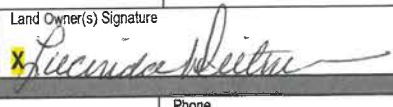
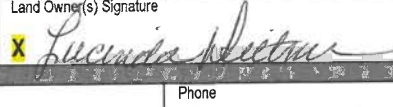
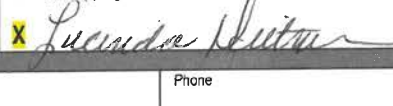
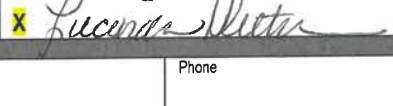
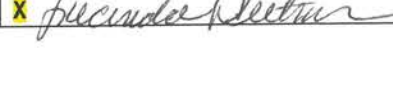
11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

Applicant Signature: ☒ 

12

Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

Parent Parcel	Recipient Parcel	Land Owner(s) Name	Email Address	Phone	Land Owner(s) Signature
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 
					<input checked="" type="checkbox"/> 

NOTES:

1. THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
2. BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
3. IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
4. PROPOSED LOT NO. 1 IS PROPOSED AS A SIDE LOT ADDITION TO EXISTING ADJACENT LANDS OF EDWARD J. DEITMAN.
5. LANDS OF EDWARD J. DEITMAN CONTAIN A DWELLING SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.
6. REMAINDER PARCEL CONTAINS A DWELLING SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.

We, Lucinda B. & Edward A. Deitman, have designed for our land situated in Township of Green, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness my/our hand and seal.

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF _____)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared _____

who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of Green, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____

I, Edward J. Deitman, have designed for my land situated in Township of Green, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness my/our hand and seal.

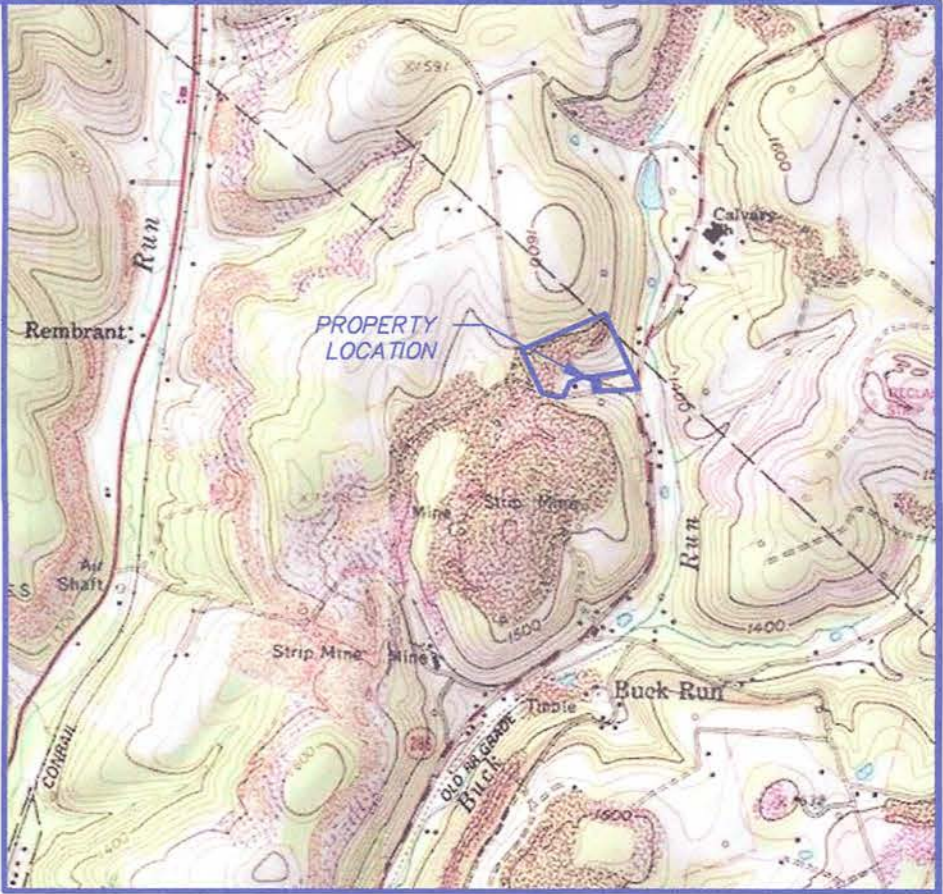
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF _____)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared _____

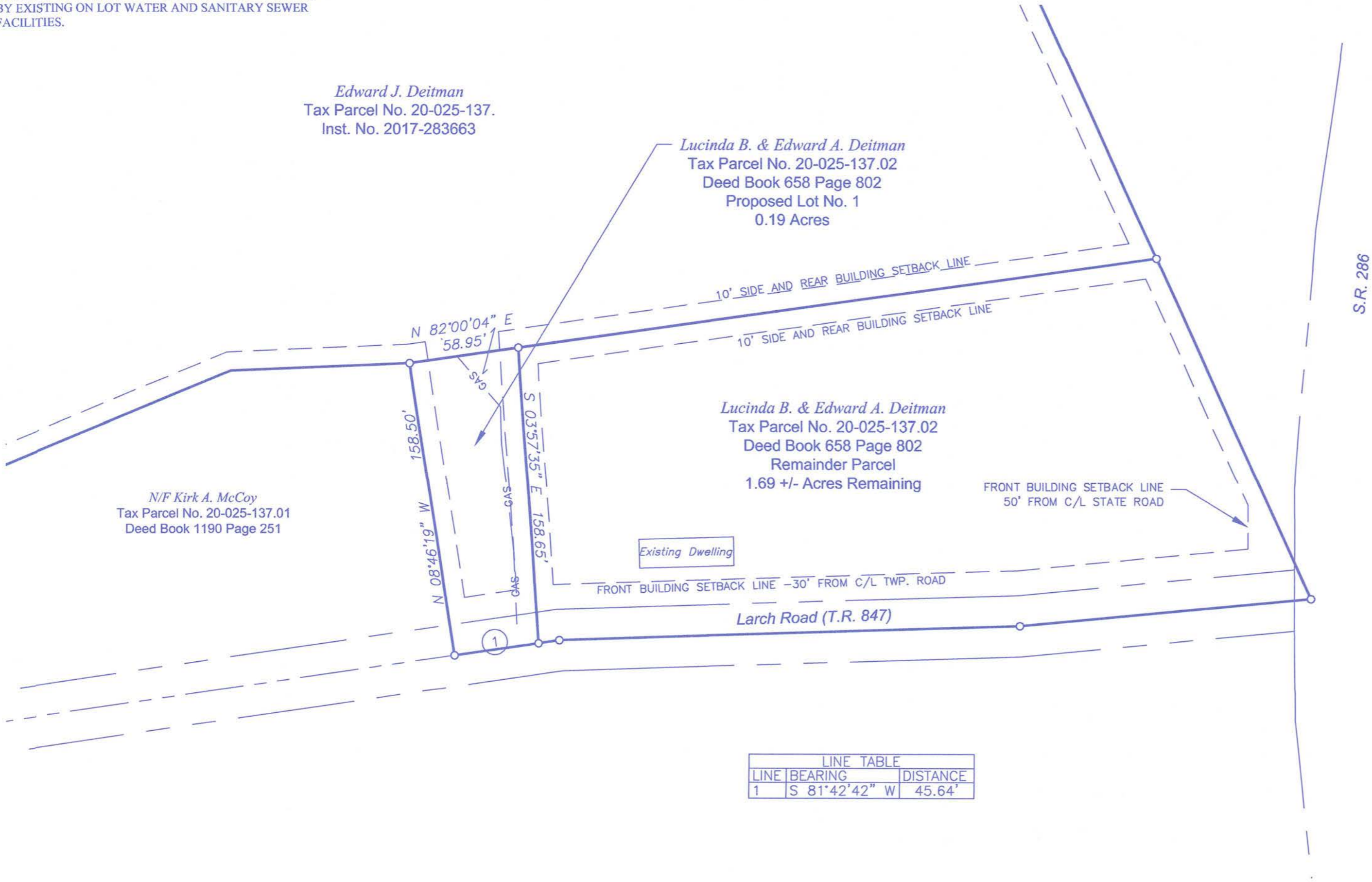
who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of Green, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____



LOCATION MAP
SCALE: 1" = 2000'



LINE TABLE		
LINE	BEARING	DISTANCE
1	S 81°42'42" W	45.64'

REVIEWED BY GREEN TOWNSHIP, COUNTY OF INDIANA, COMMONWEALTH OF PENNSYLVANIA ON THE 31 DAY OF MARCH 2025.

SUPERVISOR / SECRETARY

FINAL APPROVAL GRANTED BY INDIANA COUNTY OFFICE OF PLANNING AND DEVELOPMENT

THIS THE _____ DAY OF _____ 20____.

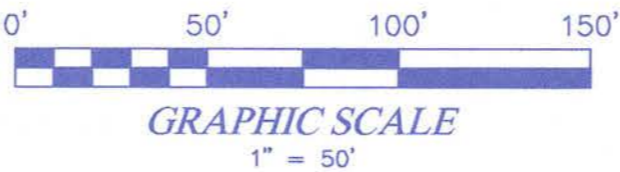
STAFF, OFFICE OF PLANNING AND DEVELOPMENT

RECORDED THIS _____ DAY OF _____, 20____, IN THE REGISTER AND RECORDER OF DEEDS OFFICE IN PLAT BOOK VOLUME _____ PAGE _____ WITNESS MY HAND AND OFFICIAL SEAL ON THE DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS

I, Carson Grant Houser, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

3/20/2025 Date
Signature of Surveyor



NO.	DATE	DESCRIPTION
REVISIONS		



SEAL

PROPOSED MINOR SUBDIVISION

prepared for
**LUCINDA B. &
EDWARD A. DEITMAN**

situated in:
GREEN TOWNSHIP, INDIANA COUNTY, PA

ISSUED: 3/6/25 JOB: 25078 SCALE: 1" = 50'
FILE: DEITMAN DRAWN BY: J.N.S. CHECKED BY: C.G.H.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@vijaengineers.com

SHEET NO:

1

**Indiana County
Subdivision & Land Development Application
Class I, II, III & IV Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25837
REVIEW FEE	\$150
FEE RECEIVED?	
CHECK NO.	

1	Plan Name	Triple K Farms LLC		Municipality	East Mahoning
1a	Parent Parcel Land Owner(s) Name	Triple K Farms LLC		Email Address	
	Parent Parcel Address	383 Olson Road Home 15747			
1b	Recipient Parcel Land Owner(s) Name (FOR SIDE LOT ADDITIONS)	Diane B. Pfeffer		Email Address	pfeffer@earthlink.net 724-397-8258
	Recipient Land Owner(s) Address	309 Potts Road, East Mahoning Twp. Marion Center, 15759			
2	Authorized Agent's Name (if different from the information above)	Donald Pfeffer		Email Address	11
	Authorized Agent's Address	11			
3	Surveyor	Scott Bowman		Email Address	

4 Written Intentions - Please outline your proposed Subdivision / Land Development below. Attach additional pages if necessary.

Side lot addition of 1.684 acres. Non Building Remainder lot has septic.

5	Class Filter (check all that apply)	Review Type	Plan Type
<input checked="" type="checkbox"/>	Class I - Survey Correction, Plat Adjustment and Lot Consolidation	<input checked="" type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Proposal
<input checked="" type="checkbox"/>	Class II - Court-Ordered Transfers, Settlements, Easements, Takings and Enforcements	<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Revision to Prior
<input checked="" type="checkbox"/>	Class III - Minor Subdivision (3 lots or less, no public improvements)	<input type="checkbox"/> Revision	<input type="checkbox"/> Phase of Revision
<input type="checkbox"/>	Class IV - Major Subdivision (4 or more lots with public improvements)		

6	Parcel ID #(s)	27-006-117	27-006-118			
---	----------------	------------	------------	--	--	--

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

7 Plan Information		
Sewage	Water Supply	Streets / Roads
Public	Public	<input checked="" type="checkbox"/> Public
Community on-site	Community on-site	Private
<input checked="" type="checkbox"/> Individual on-lot	<input checked="" type="checkbox"/> Individual on-lot	New
<input checked="" type="checkbox"/> Non-Building Waiver	New Water Supply	Highway Occupancy Permit
New Sewage System Permit		

Parcel	Yes	No
Is the Parcel enrolled in Clean & Green?		
Is the Parcel in an Agricultural Security Area?		<input checked="" type="checkbox"/>
Is the Parcel located in a Floodway or Floodplain?		<input checked="" type="checkbox"/>

8 Required for Submission

- ☒ COMPLETED APPLICATION ☐ PAID APPLICATION FEE
- ☒ 5 PRINTED COPIES OF THE PROPOSED PLAN AND APPLICATION MATERIALS
- ☒ DIGITAL DRAWING AND APPLICATION MATERIALS (ONLY UPON REQUEST): ☐ Flash Drive ☐ Email
- ☒ ZONING FROM MUNICIPALITY (IF APPLICABLE)
- ☒ COMPLETED PRELIMINARY / FINAL CHECKLIST (IF APPLICABLE)

- 9 Subdivision Base Review Fee Schedule Classes I, II, III & IV - Effective August 10, 2023
- Applicant pays minimum fees and all billable expenses from professional consultants involved in reviewing and inspecting the subdivision / land development plan and stormwater program (e.g., mileage, copies, surveying).

Classes I-III – Minor Subdivisions (3 lots or less-no public improvements), Consolidations, Corrections, Adjustments, Court Ordered Transfers, Settlements, Easements and Takings	\$75.00 / Class
Class IV – Major Subdivisions (4 or more separate deeded parcels or lots-with public improvements)	\$150.00 PLUS
Each New Lot - beginning with lot 5	\$10.00 each

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

REAPPROVAL FEE	\$50.00
----------------	---------

BASE REVIEW FEE	75.00 x 2
NO. OF NEW LOTS (Class IV)	
X \$10.00 =	
TOTAL REVIEW FEE	150.00

For your convenience, we accept fee payment by cash, check, or credit card.

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

10

Understandings and Agreements

Please initial to acknowledge each requirement

It is the responsibility of the Applicant to assure the County that all standards relevant to a proposal for Land Development are cited and met. Standards are established by Federal and Commonwealth agencies, by municipalities and by professional groups. Surveyors, Architects, Landscape Architects, Civil Engineers, and other registered professionals publish compiled design standards that are available to the public. **The Applicant shall propose to meet and meet all standards that are relevant and those specifically included in this Ordinance that are relevant.**

GPS Yes, I understand and agree to accept the requirement.

A property that is to be Approved for Land Development shall be free of obligations, encumbrances and liens except for those held by a bona fide lending institution or bank registered in the United States of America. There shall be no deed restrictions related to the property that would prohibit subdivision of the property. **Do you understand this requirement and do you accept that no approval of any proposal for Land Development will be given unless this requirement is met?**

GPS Yes, I understand and agree to accept the requirement

11

Authorizations

I / We authorize this Subdivision.

I / We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Donald Peffer Phone: 724-397-8258

Email: peffer@earthlink.net

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

Land Owner's Signature X [Signature]

11a

FOR LOT ADDITION SUBDIVISIONS, the **owner(s) of the Parent Parcel (PP)** and the **owner(s) of the Recipient Parcel (RP)** must sign the application in the space below. If there are more than 2 Landowners, please use section 12.

PP Landowner 1 Signature: X [Signature] PP Landowner 2 Signature: X _____

RP Landowner 1 Signature: X [Signature] RP Landowner 2 Signature: X _____

Indiana County Subdivision & Land Development Application Class I, II, III & IV Proposals

11b

If the Applicant is different than any Landowner, the Applicant must sign the application in the space below.

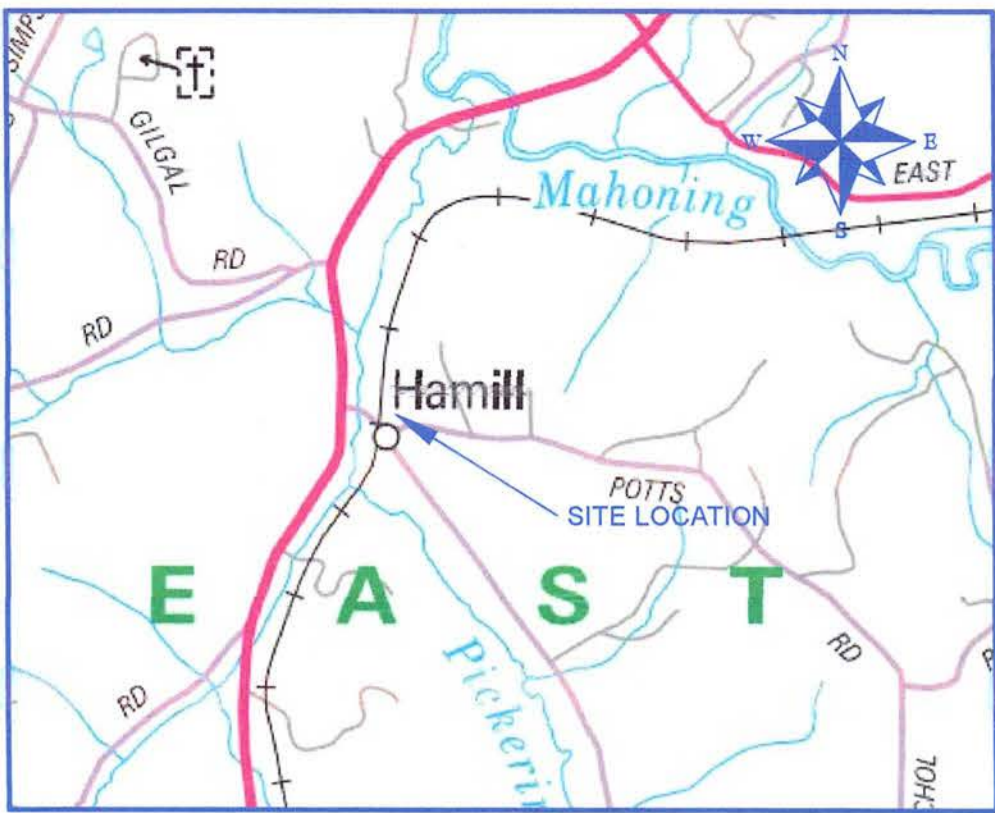
Applicant Signature: ☒

Donald P. Pfeffer

12

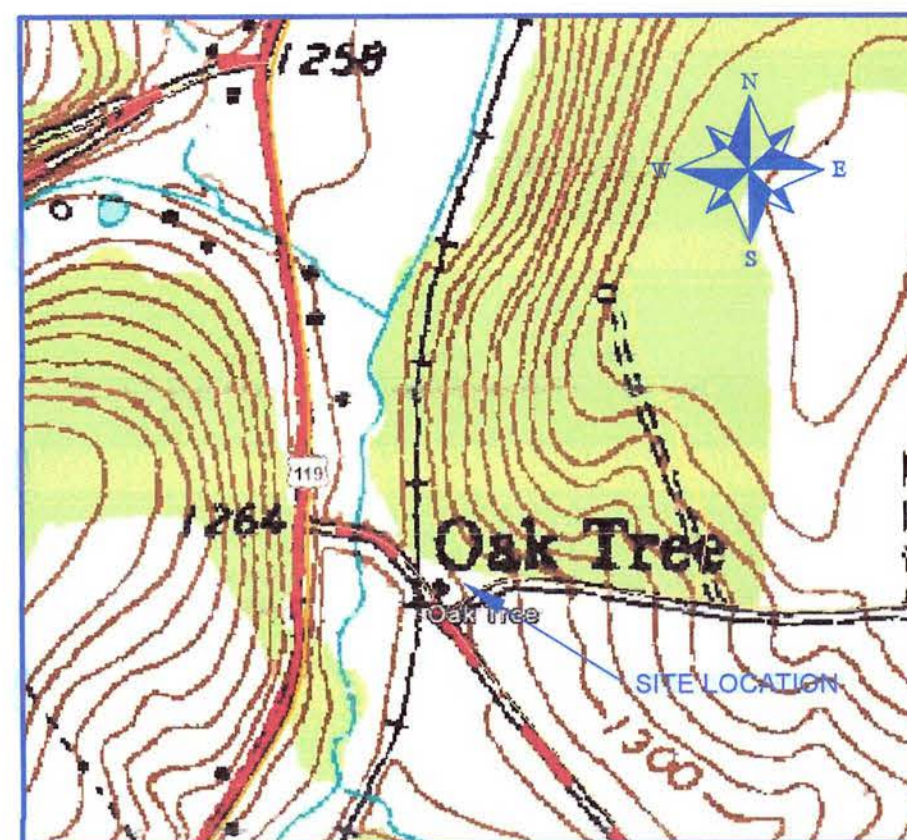
Please use this section if there are more than 1 owner for any parcels involved in this proposal. An additional sheet may be attached if necessary

Parent Parcel	Recipient Parcel	Land Owner(s) Name	Email Address	Phone
		Garrett Shank	gshank@mmmechanical.com	412-289-1452
		Land Owner(s) Address	Land Owner(s) Signature	
		975 Potts Rd Home PA 15747	<input checked="" type="checkbox"/> <i>Scott M</i>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	
		Land Owner(s) Name	Email Address	Phone
		Land Owner(s) Address	Land Owner(s) Signature	
			<input checked="" type="checkbox"/>	



SITE LOCATION MAP
NOT TO SCALE

"AS OF THE DATE OF THIS DEED/PLOT PLAN RECORDING, PROPOSED PARCEL 1 DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF NONBUILDING LOT. NO PORTION OF PROPOSED PARCEL 1 IS APPROVED BY INDIANA COUNTY OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF ANY SEWAGE DISPOSAL FACILITY. NO PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS OF EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER, PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN. ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF INDIANA COUNTY, WHO ARE CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE THE FORM OF SEWAGE FACILITIES PLANNING REQUIRED AND PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.



SITE LOCATION MAP
NOT TO SCALE

RECORDER'S CERTIFICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF INDIANA SS:

RECORDED IN THE OFFICE FOR THE RECORDING
DEEDS, PLANS, ETC., IN SAID COUNTY OF PLAN BOOK,

VOLUME _____ PAGE _____

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY

OF _____, 20 _____

ATTEST:

RECORDER

NOTARY'S CERTIFICATION

Diane B. Pepper
OWNER OR AGENT

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF INDIANA:

BEFORE ME, *Melissa D. Gearhart*, IN AND FOR
SAID STATE AND COUNTY, PERSONALLY APPEARED
Diane B. Pepper
OWNER/AGENT, WHO IN DUE FORM OF LAW,
ACKNOWLEDGED THE WITHIN PLAN TO BE THEIR ACT
AND DEED, AND DESIRED THE SAME TO BE RECORDED
AS SUCH,

THIS *18th* DAY OF *January*, 20*25*.

Melissa D. Gearhart
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Melissa D. Gearhart, Notary Public
Indiana County
My commission expires February 26, 2028
Commission number 1240057
Member, Pennsylvania Association of Notaries

MAP REVIEWED BY THE EAST MAHONING TOWNSHIP BOARD OF SUPERVISORS

THIS THE *20th* DAY OF *March*, 20*25*.

Richard A. Bowman
CHAIRMAN/SECRETARY

APPROVAL GRANTED BY INDIANA COUNTY PLANNING COMMISSION

THIS THE _____ DAY OF _____, 20 _____

CHAIR

SECRETARY

NOTARY'S CERTIFICATION

Garrett Shank
OWNER OR AGENT

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF INDIANA:

BEFORE ME, *Melissa D. Gearhart*, IN AND FOR
SAID STATE AND COUNTY, PERSONALLY APPEARED
Garrett Shank
OWNER/AGENT, WHO IN DUE FORM OF LAW,
ACKNOWLEDGED THE WITHIN PLAN TO BE THEIR ACT
AND DEED, AND DESIRED THE SAME TO BE RECORDED
AS SUCH,

THIS *19th* DAY OF *March*, 20*25*.

Melissa D. Gearhart
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Melissa D. Gearhart, Notary Public
Indiana County
My commission expires February 26, 2028
Commission number 1240057
Member, Pennsylvania Association of Notaries



Subject to:
Easements, servitudes, rights of way, leases, exceptions, reservations,
restrictions, etc., if any that may appear, either of record or unrecorded.
Note:
No abstract of title, nor title commitment, nor results of a title search were
furnished to the surveyor. There may exist other documents of record that
would affect this surveyed parcel.

All bearings have been rotated to the Pennsylvania State Plane Coordinate
System, South Zone, U.S. Survey Feet, NAD83.

All iron pins set by this survey are 3/4" rebar with cap.

Proposed Parcel 1 and Remainder Tract are subject to the building setback
requirements as referenced in the Indiana County Subdivision and Land
Development Ordinances. 30' from the centerline of township roads and 10'
from property lines.

I, SCOTT A. BOWMAN, A PROFESSIONAL LAND SURVEYOR, REGISTERED BY THE
COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN AS SHOWN
HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL
ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND
MARKERS HAVE BEEN SET AS SHOWN ON THE PLAT, AND THAT THIS PLAN CORRECTLY
REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY
ME FOR THE OWNERS OR AGENTS.

DATE *12-18-24* SEAL *Scott A. Bowman*
SIGNATURE OF SURVEYOR

BOWMAN LAND SURVEYING CO.
111 RURAL GARDENS COURT
INDIANA, PA 15701
724-599-0683
724-465-0618

kcchiefscott@verizon.net
bowmanlandsurveying.com

MINOR SUBDIVISION

Prepared for
TRIPLE K FARMS, LLC

Situate in
East Mahoning Township
Indiana County, PA

Date: December 18, 2024
Drawing No. 27-006-117

Scale: 1"=100'
Drawn By: S.A.B.

LAND DEVELOPMENT



**Indiana County
Subdivision & Land Development Application
Class V & VI Proposals**

FOR OFFICE USE ONLY	
REFERENCE NO.	25027
REVIEW FEE	\$ 1,118.00
FEE RECEIVED?	✓
CHECK NO.	53524

Project Name Homer City Dollar General		Municipality Brush Valley Twp
Address / Location of Project 6603 Route 56 Hwy E, Homer City, PA 15748		
Property Owner PTV 1408, LLC		Contact Phone No. (724)420-5367 ext 116
Mailing Address 400 Penn Center Blvd, Suite 1000, Pittsburgh, PA 15235	Email Address zane.king@pennexventures.com	
Applicant Name S/A Property Owner		Contact Phone No.
Mailing Address	Email Address	

Class Category	Review Status	Plan Type
Class V – Land Development WITHOUT Building	Preliminary	New Proposal
	Preliminary of Final	Revision to Prior
Class VI – Land Development WITH Building	<input checked="" type="checkbox"/> Final	Phase of Revision
	Revision	

Parcel ID #(s)	08-14-148			
----------------	-----------	--	--	--

Plan Information			Additional Information	Y	N
Sewage	Water Supply	Streets / Roads	Is / Does the parcel...		
<input type="checkbox"/> Public	<input type="checkbox"/> Public	<input type="checkbox"/> Public	Enrolled in Clean & Green?		<input checked="" type="checkbox"/>
<input type="checkbox"/> Community on-site	<input type="checkbox"/> Community on-site	<input type="checkbox"/> Private	In an Agricultural Security Area?		<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Individual on-lot	<input checked="" type="checkbox"/> Individual on-lot	<input type="checkbox"/> New	Have Easements? (Please Provide)		<input checked="" type="checkbox"/>
<input type="checkbox"/> Non-Building Waiver	<input type="checkbox"/> New Water Supply	<input checked="" type="checkbox"/> Highway Occupancy Permit	Have Deed Restrictions? (Please Provide)		<input checked="" type="checkbox"/>
<input type="checkbox"/> New Sewage System Permit			Located in a Floodway or Floodplain?		<input checked="" type="checkbox"/>

Notification to Others

The following agencies have been notified about the proposed site development

- ☒ Conservation District Date: 01/31/2025
☒ PennDOT Date: 08/26/2024
- ☒ PA DEP Date: 01/31/2025
☒ Sewage Enforcement Date: 05/08/2024

Subdivision Base Review Fee Schedule Classes V & VI - Effective August 10, 2023

These are the minimum fees. Applicant shall pay the full cost of any billable expenses from professional consultants (such as mileage, copies, surveying costs, etc.) related to the review and inspection of the applicant's subdivision and/or land development plan and/or stormwater management program. PLEASE MAKE CHECKS PAYABLE TO INDIANA COUNTY OFFICE OF PLANNING & DEVELOPMENT.

Class V – Land Development WITHOUT a Building	<i>Preliminary</i> Review & Approval \$100.00
	<i>Final</i> Review & Approval \$150.00
Class VI – Land Development WITH a Building	Less than 10,000 SF \$200.00 + \$0.10 per SF
	More than 10,000 SF \$200.00 + \$0.05 per SF

Class V	
PRELIMINARY PLAN REVIEW FEE	\$100.00
FINAL PLAN REVIEW FEE	\$150.00
TOTAL FEE	

Class VI	
BASE REVIEW FEE	\$200.00
TOTAL SF	9100
X \$ 0.10 =	\$910.00
TOTAL FEE	\$1110.00

Applicants have ninety (90) days to record an approved plan. Plans that have not been recorded after 90 days will require reapproval from the Planning Commission.

	REAPPROVAL FEE	\$50.00
--	----------------	---------

I/We authorize this Land Development.
I/We authorize the following individual to be the agent for executing this submission and to be contacted with any questions or concerns regarding this submission during the review process.

Authorized Agent's Name: Brian Smith Phone: 814-696-7430

Email: bsmith@keller-engineers.com

I/We authorize the Indiana County Office of Planning & Development and any authorized agent of the Office to visit / enter this property between 8am and 4pm at their own risk while this plan is being reviewed.

For lot addition subdivisions, the owner(s) of the parent lot and the owner(s) of the recipient lot must sign the application in the space below.

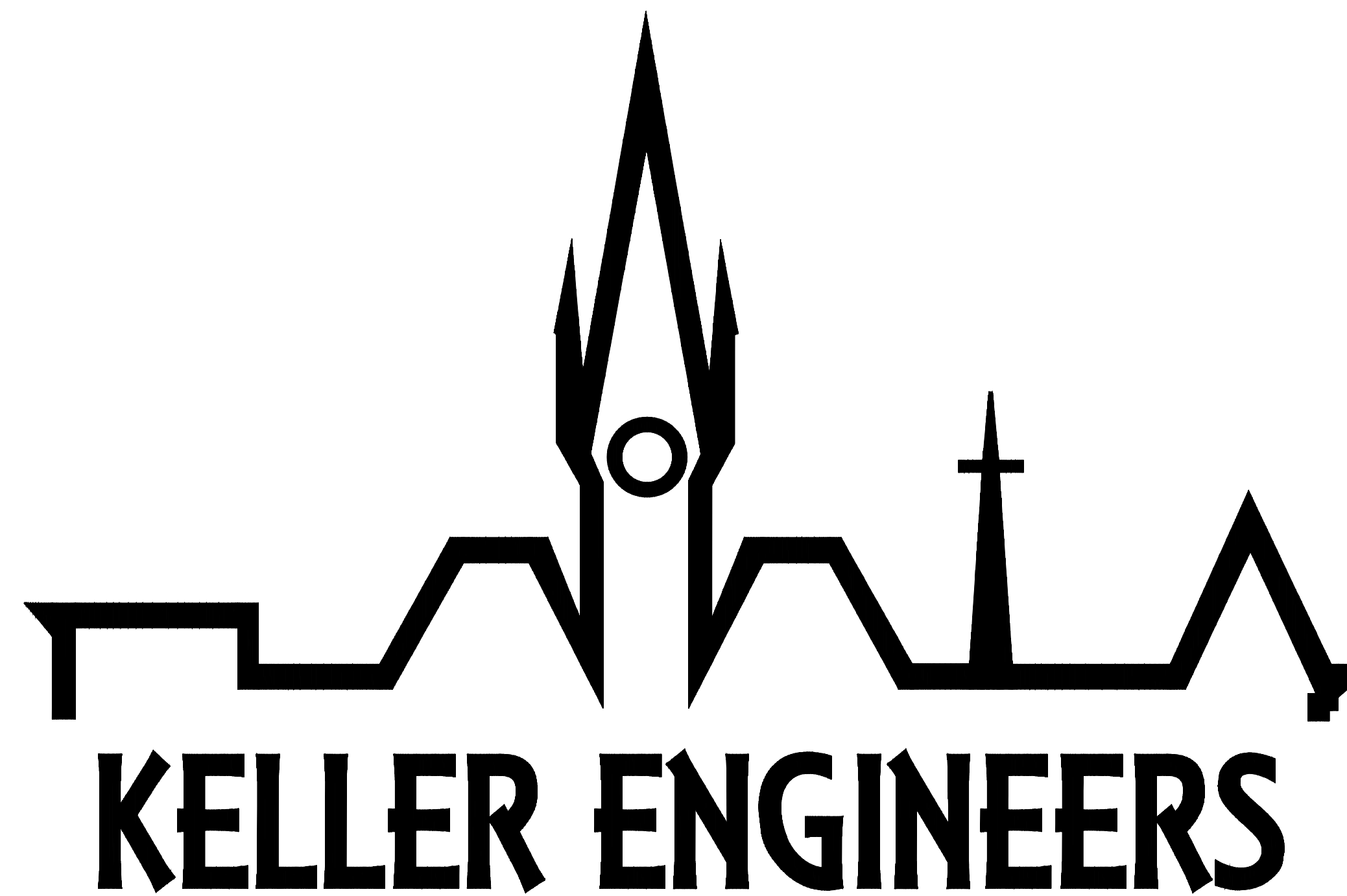
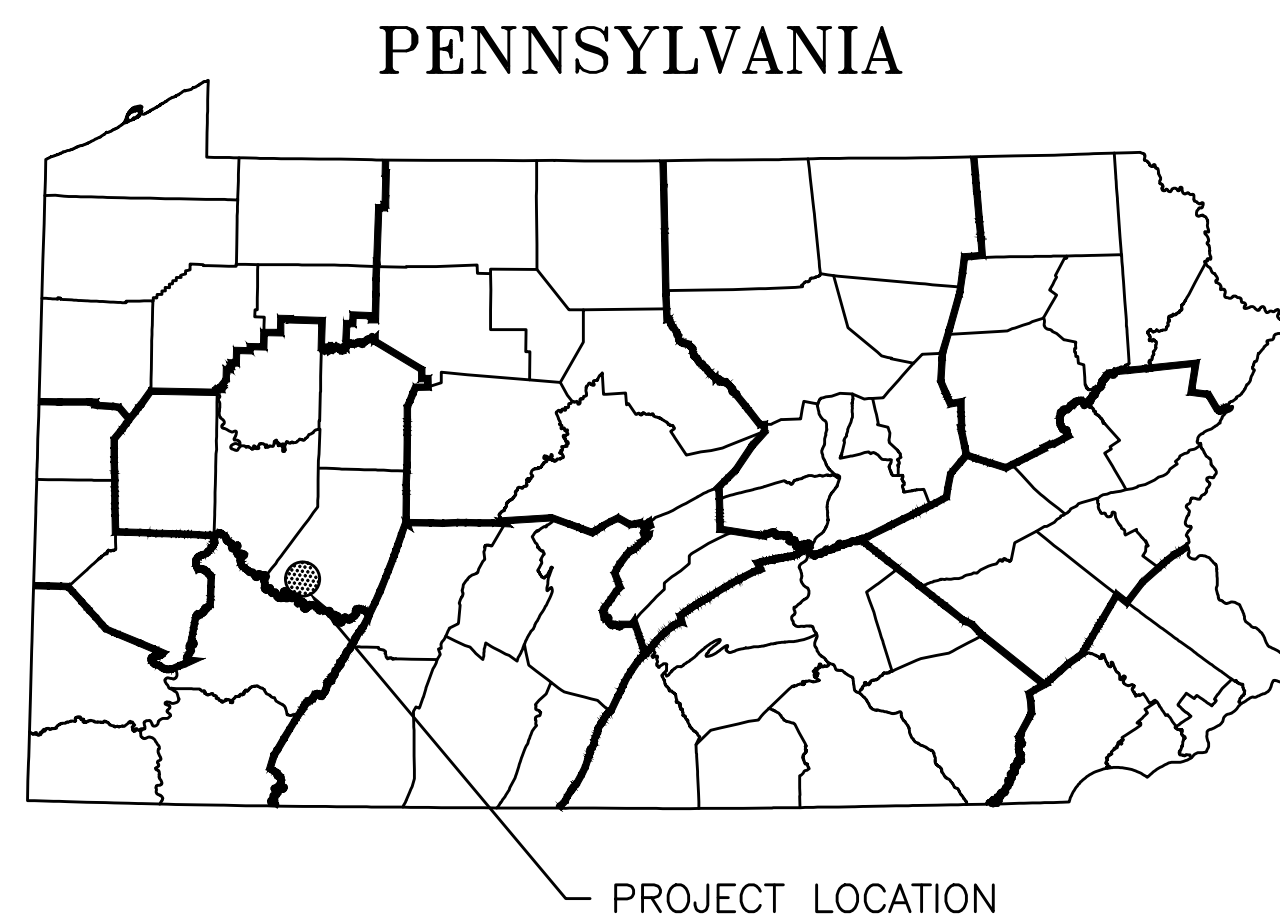
Parcel Landowner Signature: _____

If the Applicant is different than the Landowner, the Applicant must sign the application in the space below.

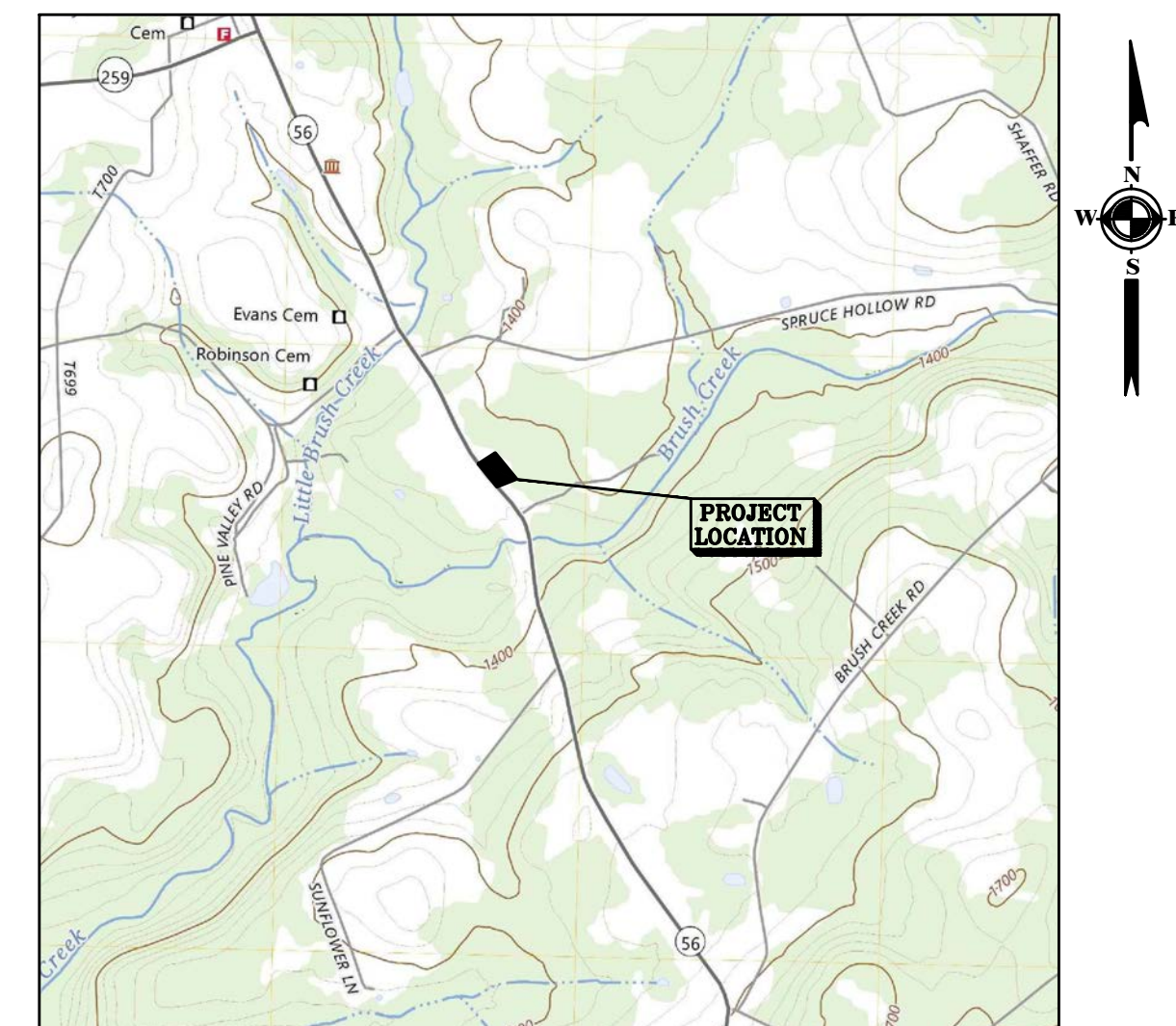
Applicant Signature: Brian E Smith (Agent)

PRIMARY/FINAL LAND DEVELOPMENT
 NEW DOLLAR GENERAL STORE
 FOR
 PENNTEX VENTURES, LLC

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA



CIVIL • STRUCTURAL • SURVEY



LOCATION MAP

SCALE: 2000' 0' 2000'
1"=2000'

PENNSYLVANIA STATE UTILITY ACT LIST
PENNSYLVANIA ONE CALL SERIAL # 2024-156-0381

THREE DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PENDING CONSTRUCTION AND NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 OR THE COMMON GROUND ALLIANCE NATIONAL ONE-CALL AT 811.

THE CONTRACTOR SHALL LOCATE, BOTH IN PLAN AND ELEVATION, ALL EXISTING UTILITIES AND SERVICES WITHIN THE AREA OF CONSTRUCTION, COMPLY WITH THE UNDERGROUND UTILITY LINE PROTECTION LAW, ACT OF 1974, P.L. 852 NO. 287, DATED DECEMBER 12, 1991.

THE FOLLOWING UTILITIES ARE ON THE PA ONE CALL WEBSITE AS HAVING FACILITIES IN THE BRUSH VALLEY TOWNSHIP, INDIANA COUNTY, PA:

PENNSYLVANIA ELECTRIC CO
2081 ROUTE 286 SOUTH
INDIANA, PA 15701
CONTACT: PAUL GRASSER
EMAIL: PGRASSER@FIRSTENERGYCORP.COM

HIGHRIDGE WATER AUTHORITY
17 MAPLE AVENUE
BLAIRSVILLE, PA 15717
PHONE: 724-235-2900

DRAWING INDEX		
SHEET	TITLE	REVISION
1	TITLE	
2	NOTES/DEMO PLAN	
3	SITE PLAN	
4	GRADING PLAN	
5	UTILITY PLAN	
6	DETAILS	
7	DETAILS	
ES1	E&S CONTROL PLAN AND DETAILS	
ES2	E&S CONTROL NOTES AND DETAILS	
ES3	E&S CONTROL DETAILS	
HOP1	HOP PLAN	
HOP2	HOP NOTES	
HOP3	HOP DETAILS	
HOP4	HOP DETAILS	
PC1	PCSM PLAN	
PC2	PCSM NOTES	
PC3	PCSM DETAILS/PROFILES	

STORMWATER ACKNOWLEDGEMENT

I ACKNOWLEDGE THAT THE STORM WATER MANAGEMENT SYSTEM IS TO BE MAINTAINED IN ACCORDANCE WITH THE APPROVED OWNERSHIP AND MAINTENANCE PROGRAM AND REMAIN A PERMANENT FIXTURE WHICH CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE BOARD OF SUPERVISORS.

SIGNATURE _____ PRINT NAME, TITLE, ENTITY _____

CERTIFICATION OF OWNERSHIP

ON THIS, THE _____ DAY OF _____, 20____ BEFORE ME, THE
UNDERSIGNED OFFICER, PERSONALLY APPEARED _____

_____, BEING THE OWNER(S) OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED.

SIGNATURE _____ PRINT NAME, TITLE, ENTITY _____

NOTARY PUBLIC COMMISSION EXPIRES

[illegible]

TITLE

HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

KELLER ENGINEERS, INC.
EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT
AND OTHER RIGHTS
CONTAINED IN THESE PLANS
AND DESIGNS. THEY ARE
NOT TO BE REPRODUCED,
CHANGED, ALTERED OR
COPIED IN ANY FORM OR
MANNER, NOR ARE THEY TO
BE ASSIGNED WITHOUT
WRITTEN PERMISSION AND
CONSENT OF
KELLER ENGINEERS, INC.

PROJECT NO.:	4330-3
FILE NAME:	PLOT\01 TITLE.DWG
DATE:	11/13/24
DESIGNED BY:	BSP
DRAWN BY:	BAC
CHECKED BY:	---


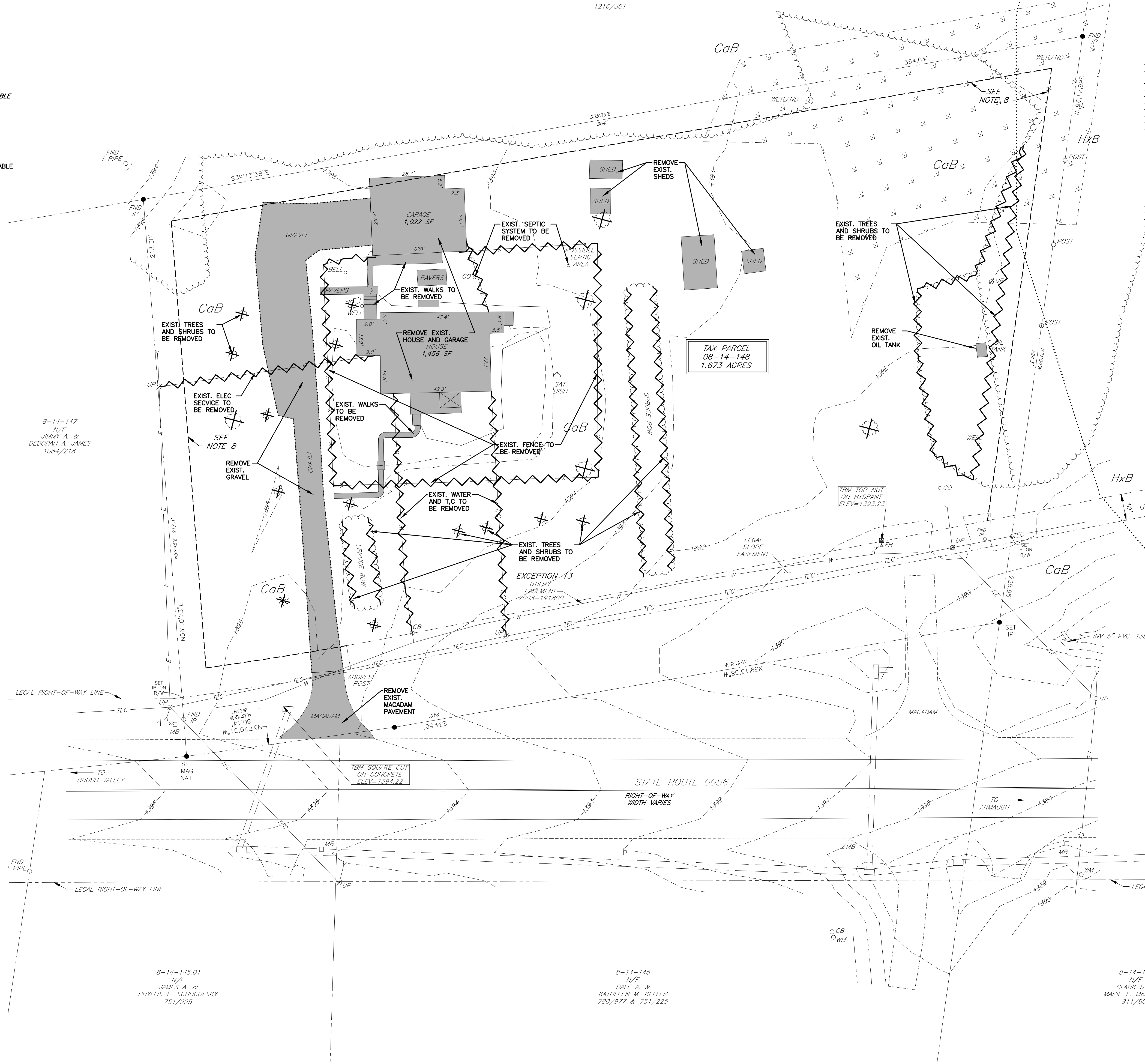
1. THE PROPERTY IS CURRENTLY IN THE NAME OF SHARON MAE WESTOVER BURKETT AS RECORDED IN INDIANA COUNTY DEED BOOK VOLUME 1115 AT PAGE 318, INDEXED AS TAX PARCEL NUMBER 08-14-148.
2. PROPERTY LINES AND RIGHT-OF-WAY LINES ARE BASED UPON A SURVEY DRAFT FOR ORION DEVELOPMENT DCI, LLC AS PREPARED BY KELLER ENGINEERS DATED JULY 2024 INDEXED AS PROJECT NO. 4530-5.
3. HORIZONTAL CONTROL IS BASED ON NAD 83, PENNSYLVANIA STATE PLANE COORDINATE SYSTEM-SOUTH ZONE.
4. VERTICAL CONTROL IS BASED UPON 88.
5. DEVELOPMENT TIMETABLE
OBTAIN MUNICIPAL APPROVAL WINTER 2024
BEGIN CONSTRUCTION SPRING 2025
COMPLETE CONSTRUCTION SUMMER 2025
6. THE PROPERTY CONSISTS OF 1.49 ACRES
7. THE PROPOSED USE OF THE DEVELOPMENT IS RETAIL.
8. BUILDING SETBACK DISTANCES:
FRONT = 25 FEET
SIDE = 25 FEET
REAR = 25 FEET
9. PROPOSED BUILDING HEIGHT = 20'
10. PARKING GENERATION:
RETAIL: 1 SPACES PER 200 SQFT
TOTAL SPACES REQUIRED = 37
TOTAL SPACES PROVIDED = 30
HANDICAP ACCESSIBLE PARKING = 2 SPACES
11. DENSITY CALCULATIONS:

	EXISTING	PROPOSED
OPEN SPACE	1.30 ACRES (87.2%)	0.82 ACRES (55.0%)
PAVEMENT	0.12 ACRES (8.1%)	0.46 ACRES (30.9%)
BUILDING	0.07 ACRES (4.7%)	0.21 ACRES (14.1%)
TOTAL IMPERVIOUS	0.19 ACRES (12.8%)	0.67 ACRES (45.0%)
TOTAL LOT SIZE 1.49 ACRES		
12. ALL AREAS NOT COVERED BY IMPERVIOUS OR GRAVEL SURFACES SHALL BE CONSIDERED AS LAWN AREAS.
13. SOILS ON THE SITE ARE
CoB CAVODE SILT LOAM (SOIL GROUP C/D)
HxB HAZLETON CLYMER COMPLEX (SOIL GROUP A)
14. WATER SERVICE IS SUPPLIED BY AN ON-SITE WELL.
15. SEWERAGE SERVICE IS PROVIDED BY AN ON-LOT SANITARY SEWAGE HOLDING TANK, AND SHALL MEET THE REQUIREMENTS OF BRUSH VALLEY TOWNSHIP SEWER.
16. PROPOSED TELEPHONE, ELECTRIC, AND CABLE SERVICE TO BE CONSTRUCTED UNDERGROUND, CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY.
17. ALL EXTERIOR LIGHTS TO BE FITTED WITH SHIELDS TO PREVENT GLARE ON ADJACENT PROPERTIES.
18. ALL UTILITY TRENCHES TO BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
19. THE PROPOSED DEVELOPMENT IS OUTSIDE OF THE 100 YEAR FLOODPLAIN.
20. ALL DOWNSPOUTS CONNECT TO STORM PIPING.
21. SWPP REFERS TO SMOOTH WALL (INTERIOR) CORRUGATED POLYETHYLENE PIPE.
22. PVC REFERS TO POLYVINYL CHLORIDE.
23. ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER EACH SIGNIFICANT STORM EVENT AND ON A MONTHLY BASIS. THEY SHALL BE CLEANED FROM ANY DEBRIS OR SEDIMENT DEPOSITS AND RESTORED TO ORIGINAL CONDITIONS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO ESTABLISH LINES, LOCATION, GRADES, DIMENSIONS, AND ELEVATIONS OF THE WORK FROM EXISTING FACILITIES.
25. THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION OF EVERY DESCRIPTION AND OF WHATEVER SUBSTANCE ENCOUNTERED TO THE DEPTHS INDICATED. ALL EXCAVATED MATERIAL NOT REQUIRED OR UNSUITABLE FOR FILL SHALL BE REMOVED AND WASTED OFF-PROPERTY.
26. UNLESS OTHERWISE INDICATED ON THIS DRAWING, REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION.
27. THE CONTRACTOR SHALL PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON THE OWNER'S PROPERTY. IF DAMAGE OCCURS, DAMAGED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
28. ALL DISTURBED AREAS EXCEEDING THE LIMITS OF WORK TO BE RESTORED TO EXISTING CONDITIONS AT THE FULL EXPENSE OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
29. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, LATEST EDITION. HEREINAFTER REFERRED TO AS PADOT PUB. 408, AND ALL SUPPLEMENTS THERETO.
30. THE CONTRACTOR SHALL PLACE SEEDING AND SOIL SUPPLEMENTS IN ALL DISTURBED AREAS, AND IN ACCORDANCE WITH SECTION 804 OF THE PADOT PUB. 408. REFERENCE TO "EROSION AND SEDIMENT CONTROL" NOTES FOR SPECIFIC INSTRUCTIONS.
31. THE CONTRACTOR SHALL PLACE MULCHING IN ALL AREAS WHERE SEEDING IS REQUIRED BY THE CONTRACT DRAWING IN ACCORDANCE WITH SECTION 805 OF THE PADOT PUB. 408. PRECAUTIONS SHALL BE TAKEN TO STABILIZE THE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING. REFERENCE TO "EROSION AND SEDIMENT CONTROL" NOTES FOR SPECIFIC INSTRUCTIONS.
32. AN EFFORT HAS BEEN MADE TO LOCATE AND SHOW APPROXIMATE LOCATION OF EXISTING UTILITY LINES. ALL UTILITIES ARE NOT NECESSARILY SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITIES TO VERIFY LOCATIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH PA ACT 38 OF 1991. THREE DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PENDING CONSTRUCTION AND NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 AND COMMON GROUND ALLIANCE NATIONAL ONE-CALL AT 811.

<u>EXISTING FEATURES LEGEND</u>	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	CONTOUR LINE
	FENCE LINE
	EDGE OF MACADAM
	GAS LINE
	SEWER LINE
	STORM SEWER
	TELEPHONE, ELECTRIC, CABLE
	WATER LINE
<u>PROPOSED FEATURES LEGEND</u>	
	CONTOUR LINE
	EDGE OF MACADAM
	SEWER LINE
	STORM SEWER
	TELEPHONE, ELECTRIC, CABLE
	WATER LINE
	LIMIT OF DISTURBANCE
	COMPOST FILTER SOCK
	MINIMUM
	MAXIMUM
	FIRST FLOOR ELEVATION
	RADIUS
	LINEAR FEET
	CLEANOUT
	CURB BOX
	GAS METER
	MAIL BOX
	MANHOLE
	FIRE HYDRANT
	UTILITY POLE
	WATER VALVE
	SIGN
	DECIDUOUS TREE
	PINE TREE
	SHRUB
	MACADAM
	HEAVY DUTY MACADAM
	CONCRETE


ABBREVIATIONS

BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
CB	CURB BOX
CMC	CORRUGATED METAL PIPE
CO	CLEANOUT
DD	DUCTILE IRON PIPE
DPS	DOWNSPOUT
EM	ELECTRIC METER
FE	1ST FLOOR ELEVATION
FI	FIRE HYDRANT
FP	FLAG POLE
GM	GAS METER
GV	GAS VALVE
HDPE	HIGH DENSITY POLY-ETHYLENE
HP	HIGH POINT
LF	LINEAR FEET
LP	LIGHT POLE
MAX	MAXIMUM
MB	MAIL BOX
MH	MANHOLE
MIN	MINIMUM
PM	PARKING METER
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
SWPP	SMOOTH WALL POLY-ETHYLENE PIPE
TBM	TEMPORARY BENCHMARK
TC	TOP OF CURB
TCP	TERRACOTTA PIPE
TP	TOP OF WALL
UP	UTILITY POLE
WM	WATER METER
WW	WATER VALVE
WWF	WELDED WIRE FABRIC



KELLER ENGINEERS
CIVIL • STRUCTURAL • SURVEY

420 Allegheny Street
Hollidaysburg, PA 16648
P: (814) 696-7430
www.keller-engineers.com

DATE & INITIALS		REVISION DESCRIPTION
		SCALE: 1"=20'
		20' 0' 20'
		

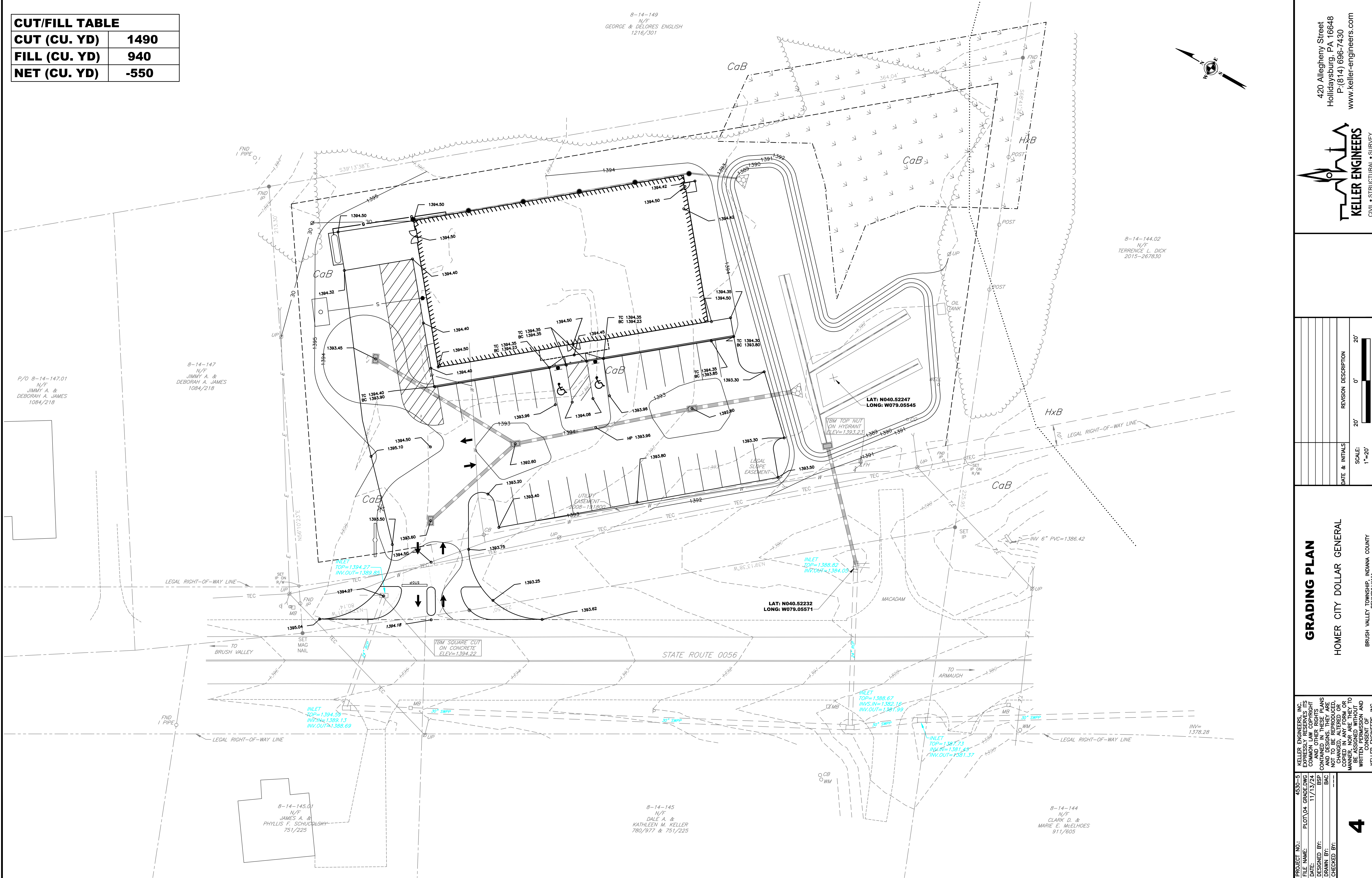
NOTES/DEMO PLAN

HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

PROJECT NO.:	4530-5	KELLER ENGINEERS, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS IN THESE PLANS, SPECIFICATIONS AND DESIGNS. THEY ARE NOT TO BE REPRODUCED, OR CHANGED, ALTERED OR COPIED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KELLER ENGINEERS, INC.
FILE NAME:	PLOT\02 INDEX.DWG	
DATE:	11/13/24	
DESIGNED BY:	BSP	
DRAWN BY:	BAC	
CHECKED BY:	---	

CUT/FILL TABLE	
CUT (CU. YD)	1490
FILL (CU. YD)	940
NET (CU. YD)	-550



PROJECT NO.: 4530-5
FILE NAME: PLOT04 GRADING
DATE: 11/19/20
DESIGNED BY: BAC
DRAWN BY: BAC
CHECKED BY: BAC

4

KELLER ENGINEERS, INC.
1000 N. 10TH STREET
HOLLIDAYSBURG, PA 16648
P: (814) 696-7430
WWW.KELLER-ENGINEERS.COM

8-14-147
N/F
JIMMY A. &
DEBORAH A. JAMES
1084/218

8-14-145.01
N/F
JAMES A. &
PHYLLIS F. SCHUCOLSKY
751/225

8-14-149
N/F
GEORGE & DELORES ENGLISH
1216/301

8-14-144
N/F
DALE A. &
KATHLEEN M. KELLER
780/977 & 751/225

8-14-144
N/F
CLARK D. &
MARIE E. McELHOES
911/605

8-14-144.02
N/F
TERRENCE L. DICK
2015-267830

8-14-144
N/F
JIMMY A. &
DEBORAH A. JAMES
1084/218

GRADING PLAN

HOMER CITY DOLLAR GENERAL

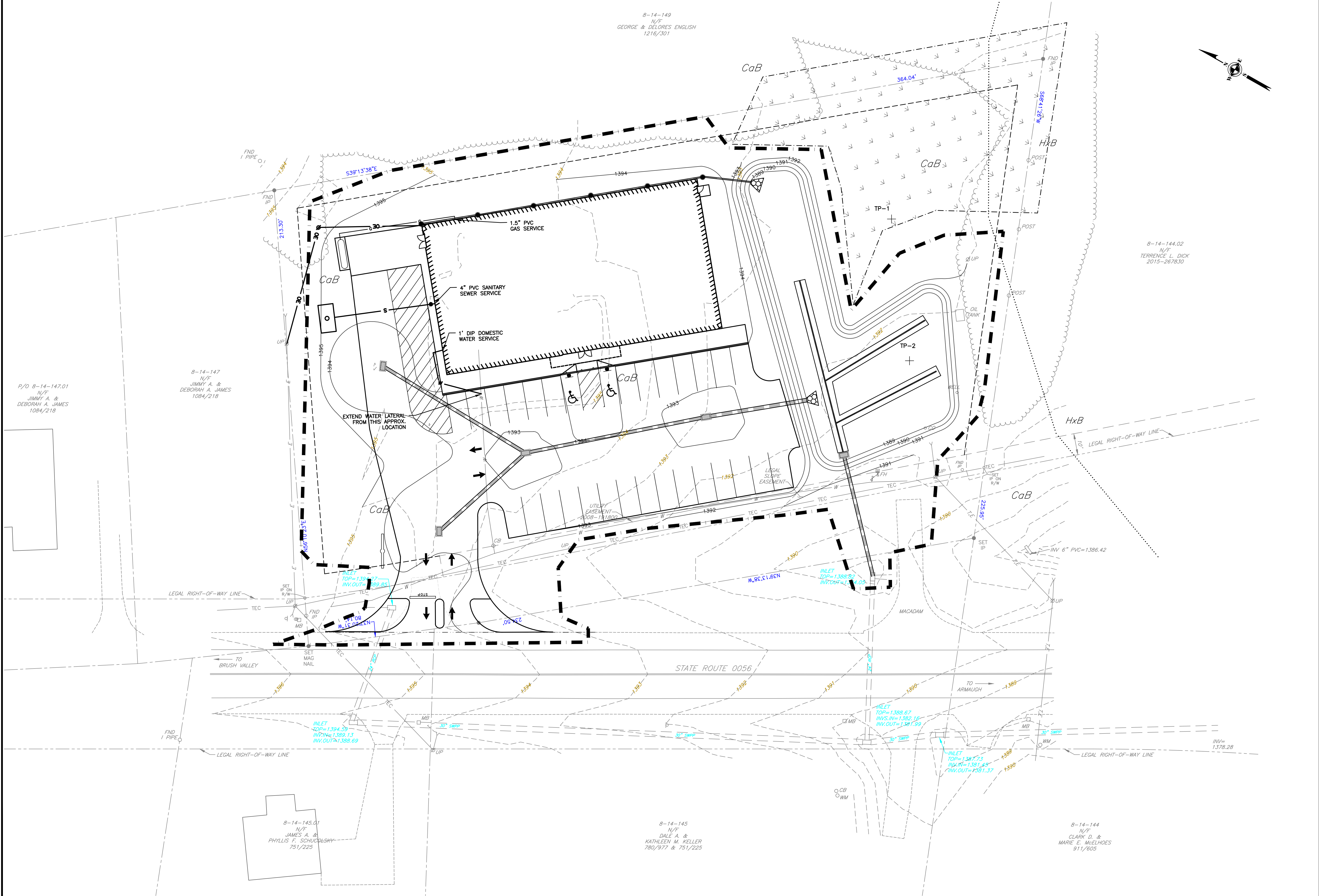
BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

DATE & INITIALS

REVISION DESCRIPTION

SCALE: 1"=20'

20' 0' 20'



PROJECT NO.: 4530-5
FILE NAME: PLOT05 UTIL05
DATE: 11/13/20
DESIGNED BY: BAC
DRAWN BY: BAC
CHECKED BY: BAC

5

UTILITY PLAN
HOMER CITY DOLLAR GENERAL
BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

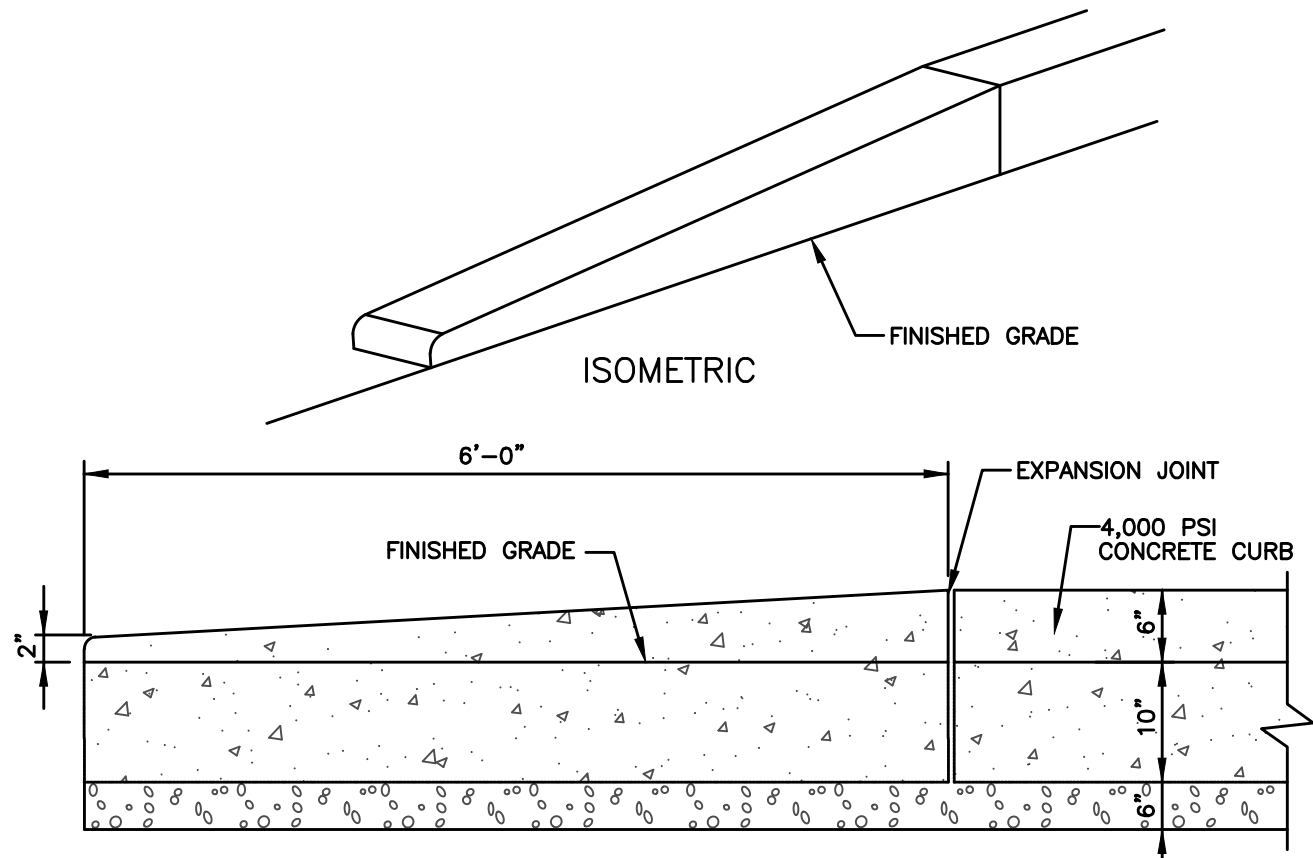
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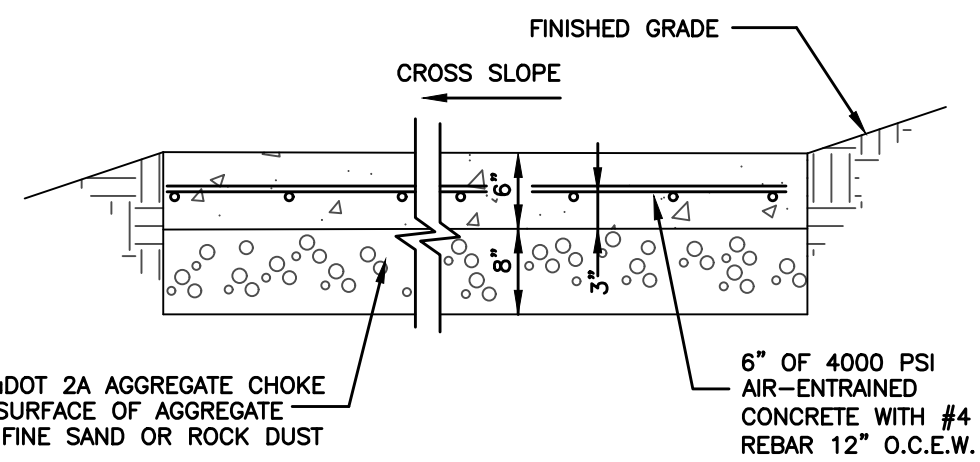
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DATE & INITIALS	REVISION DESCRIPTION

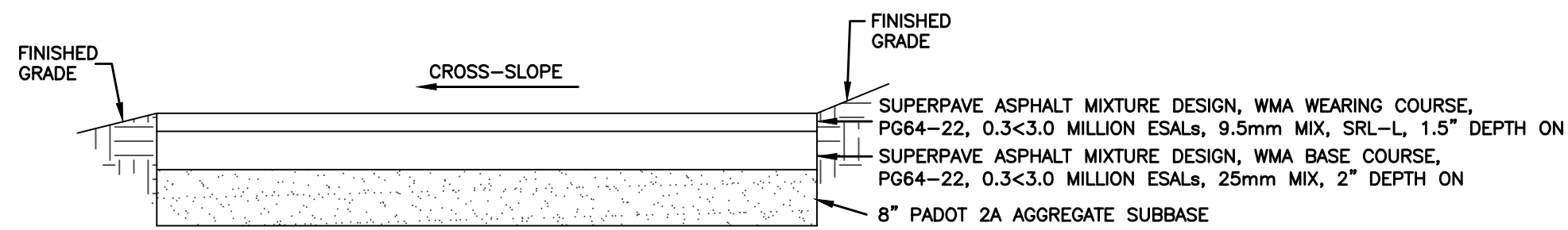
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0' 20'



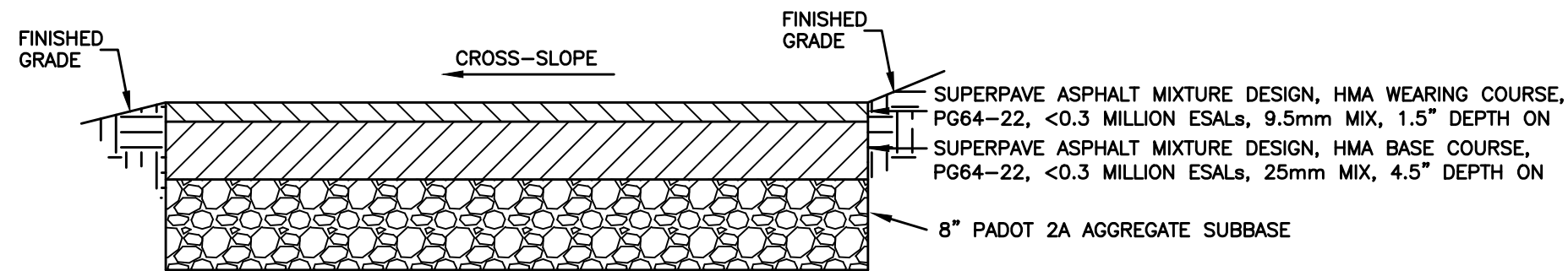
SECTION
VERTICAL CURB TAPER



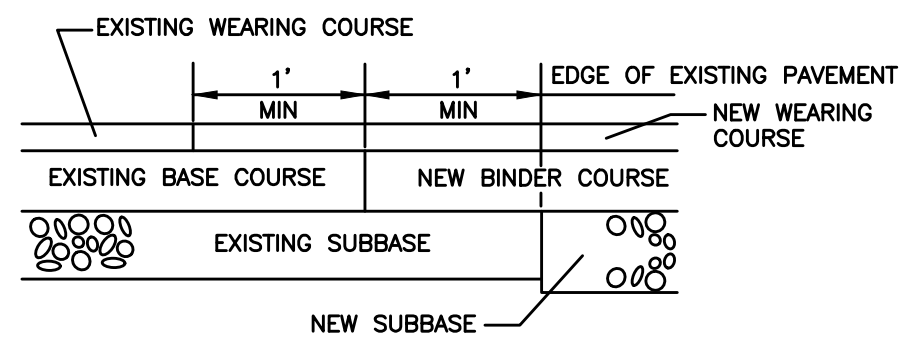
CONCRETE SLAB



MACADAM PAVEMENT

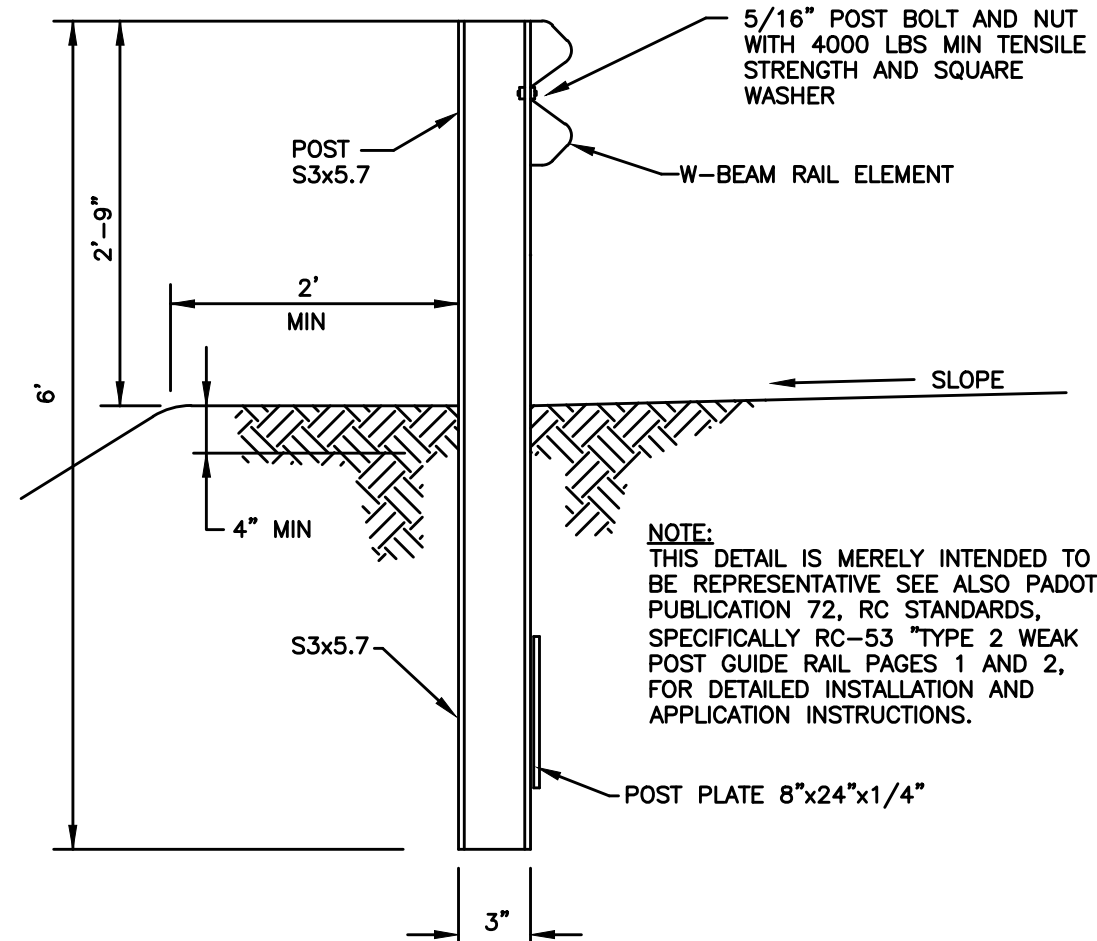


HEAVY DUTY MACADAM PAVEMENT

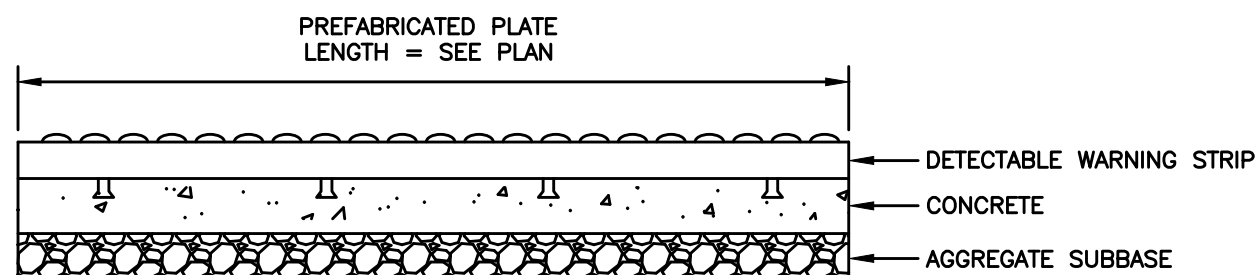
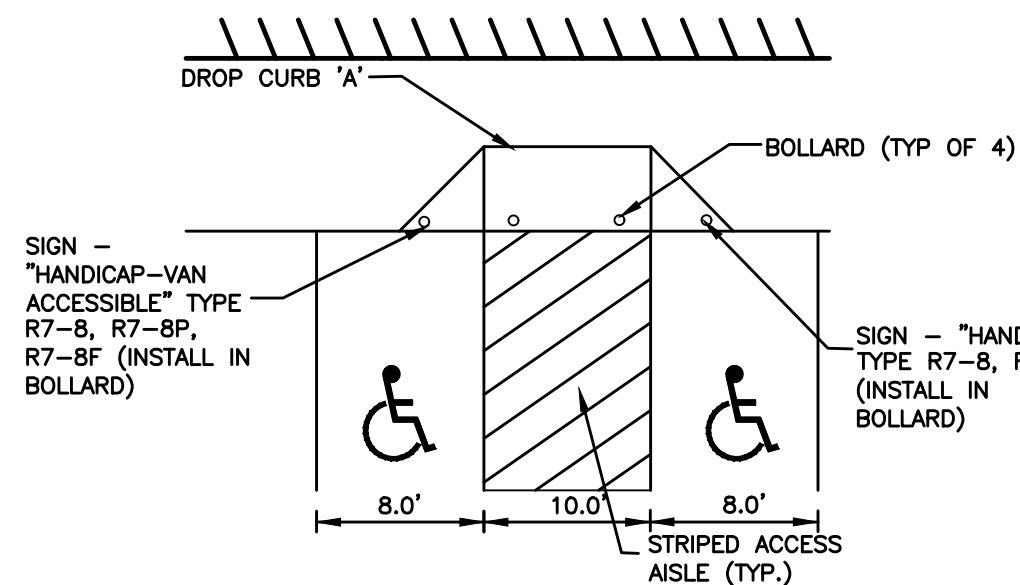


- NOTES:
1. SAWCUT ALL JOINTS VERTICAL AND NEAT.
 2. PLACE TACK COAT ON EXISTING SAWCUT BITUMINOUS SURFACES AND EXISTING BASE.
 3. APPLY SEALER MATERIAL ALONG JOINT BETWEEN EXISTING AND NEW BITUMINOUS WEARING SURFACES.

BITUMINOUS PAVEMENT MATCH

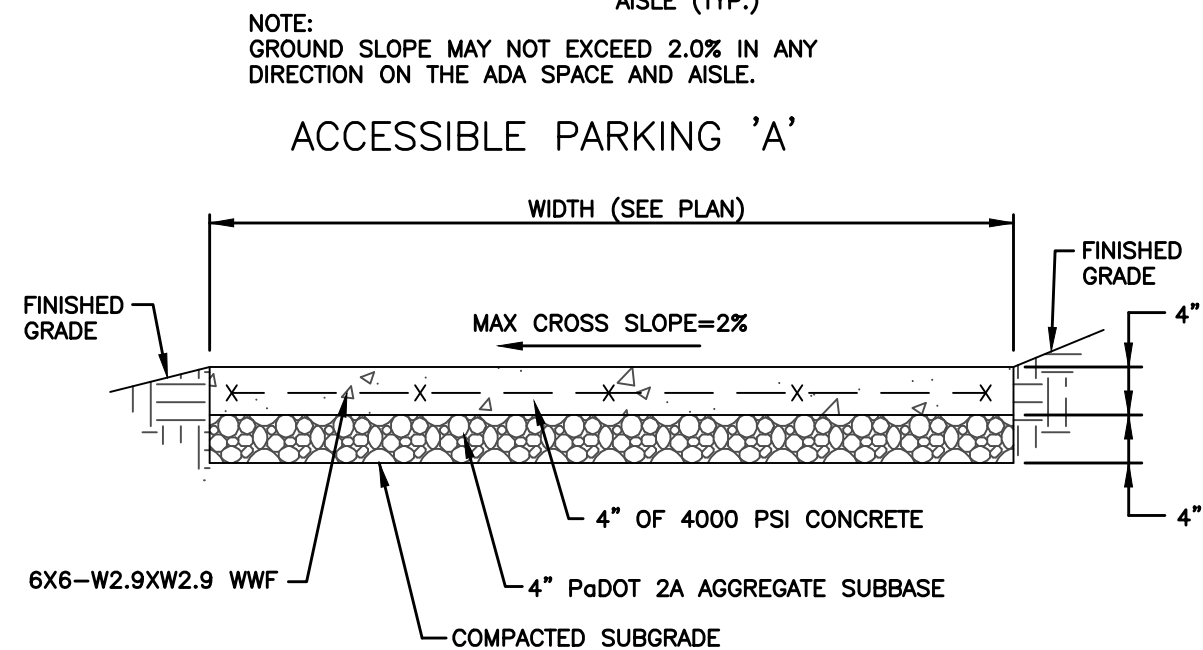


GUIDE RAIL
TYPE 2 WEAK POST



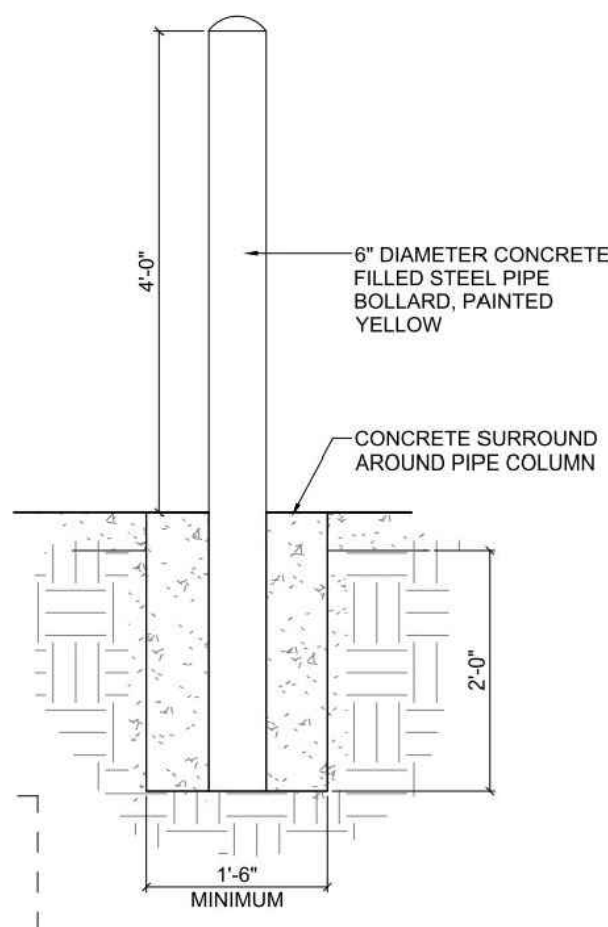
- NOTES:
1. WARNING PLATES SHALL BE WET-SET REPLACEABLE MODEL BY ADA SOLUTIONS, INC. (800) 372-0519 WWW.ADATILE.COM
 2. COLOR SHALL BE BRICK RED IN THE PUBLIC RIGHT OF WAY AND YELLOW ON THE SITE.
 3. DETECTABLE WARNINGS SHALL COMPLY WITH ADA TITLE 49, PART 37.9, APPENDIX A, SECTION 4.29.2.

DETECTABLE WARNINGS PLATE

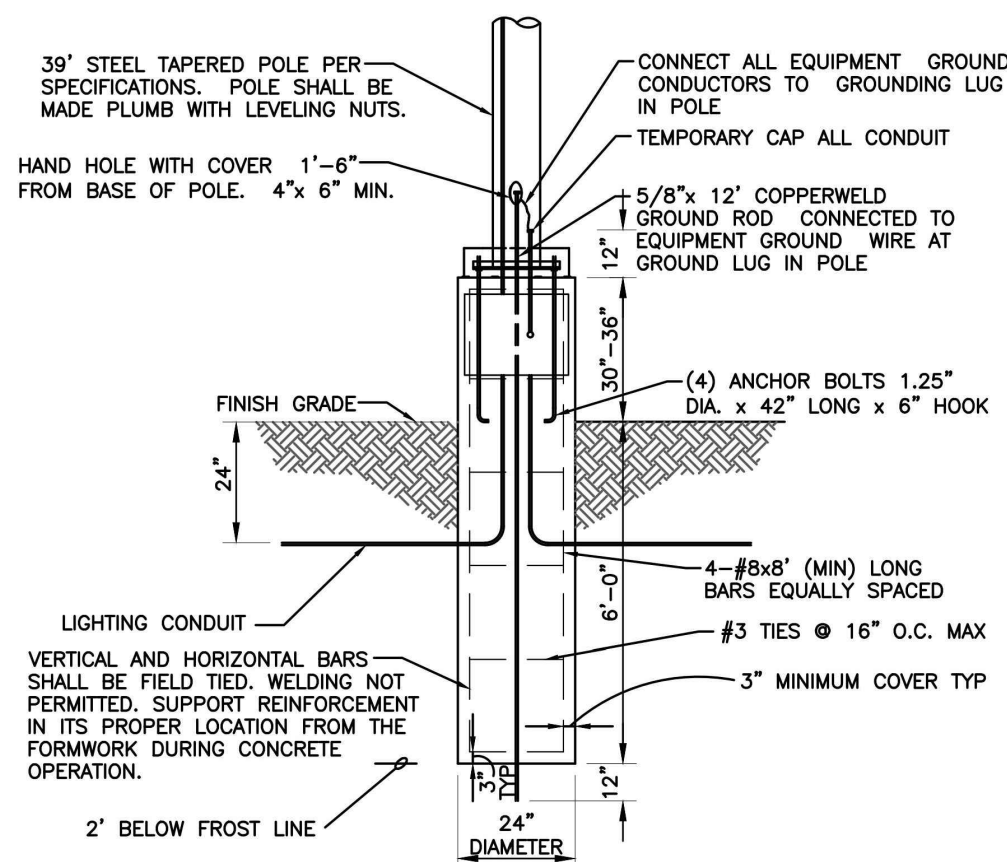


- NOTES:
1. CONSTRUCT IN ACCORDANCE WITH SECTION 676 OF PaDOT PUBLICATION 408 SPECIFICATIONS, CURRENT EDITION
 2. RUNNING SLOPE OF CONCRETE WALKS SHALL NOT EXCEED 5.0%.
 3. CROSS SLOPE OF CONCRETE WALKS SHALL NOT EXCEED 2.0%.

CONCRETE WALK

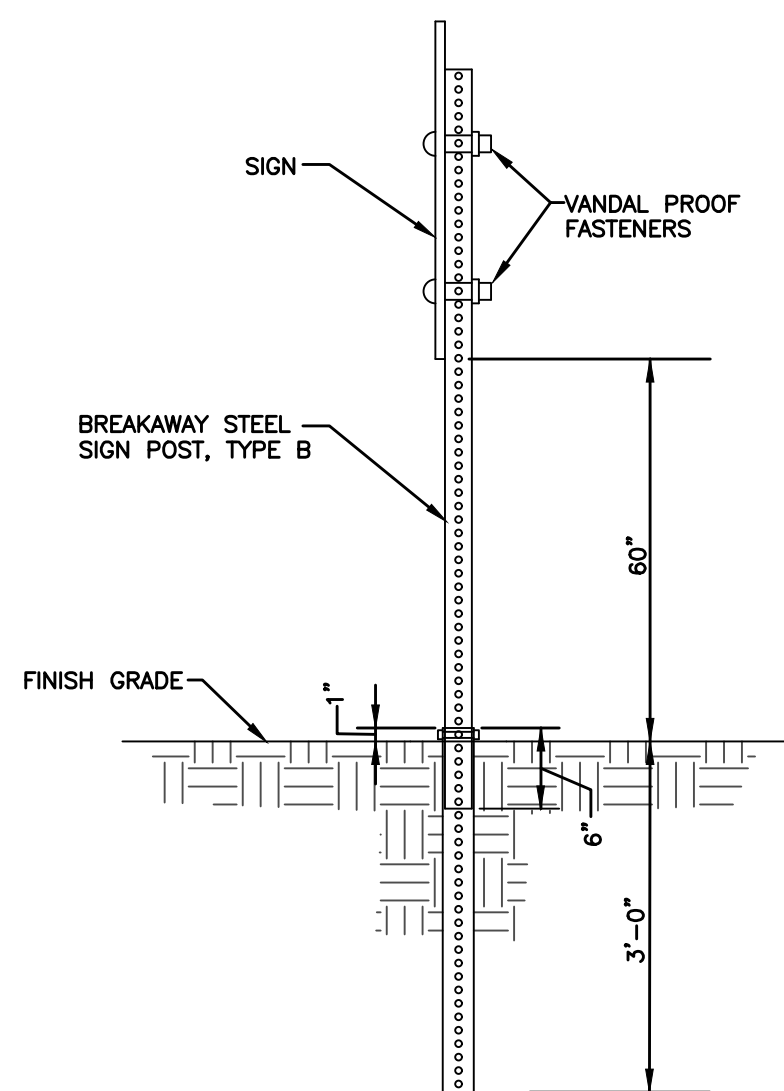


BOLLARD



- NOTES:
1. ALL LIGHT POLE BASE FOUNDATIONS SHALL BE CAST-IN-PLACE CONCRETE, 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 2. IF WATER IS PRESENT IN EXCAVATED HOLE, REMOVE BEFORE POURING CONCRETE.
 3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
 4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
 5. FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
 6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF 'EMBEDMENT OF POSTS WITH OVERTURNING LOADS'.

LIGHT POLE BASE



SIGN POST INSTALLATION



- NOTES:
1. ACCESSIBLE PARKING - VAN ACCESSIBLE COMPLYING WITH ADAAG 4.30
 2. ATTACH SIGNS TO BUILDING WALL AT 60" ABOVE GRADE.

RESERVED PARKING SIGN
VAN ACCESSIBLE SIGN
RESERVED PARKING PENALTIES
(R7-8)
12"x18"
(R7-8P)
12"x6"
(R7-8F)
12"x18"

DETAILS

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PROJECT NO.: 4530-5
FILE NAME: 07-08 DETAILS.DWG
DATE: 11/13/24
DESIGNED BY: BSP
DRAWN BY: BAC
CHECKED BY: ---
6

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PIPE RECONNECTION DETAIL

STANDARD DETAILS

SEE APPROPRIATE TRENCH DETAIL FOR BACKFILL REQUIREMENTS

PVC TO PVC CONNECTION USE PVC REPAIR SLEEVE
PVC TO CAST IRON CONNECTION USE MECHANICAL JOINT COUPLING
PVC TO ACP CONNECTION USE MECHANICAL JOINT COUPLING
PVC TO TCP/VCP CONNECTION USE S.S. ANTI-SHEAR COLLAR RUBBER ADAPTER
DIP/CIP TO DIP/CIP CONNECTION USE MECHANICAL JOINT COUPLING

12"

EXISTING SANITARY SEWER PIPE

8" (MIN.)

UNDISTURBED SUBGRADE

NEW PVC SANITARY SEWER PIPE

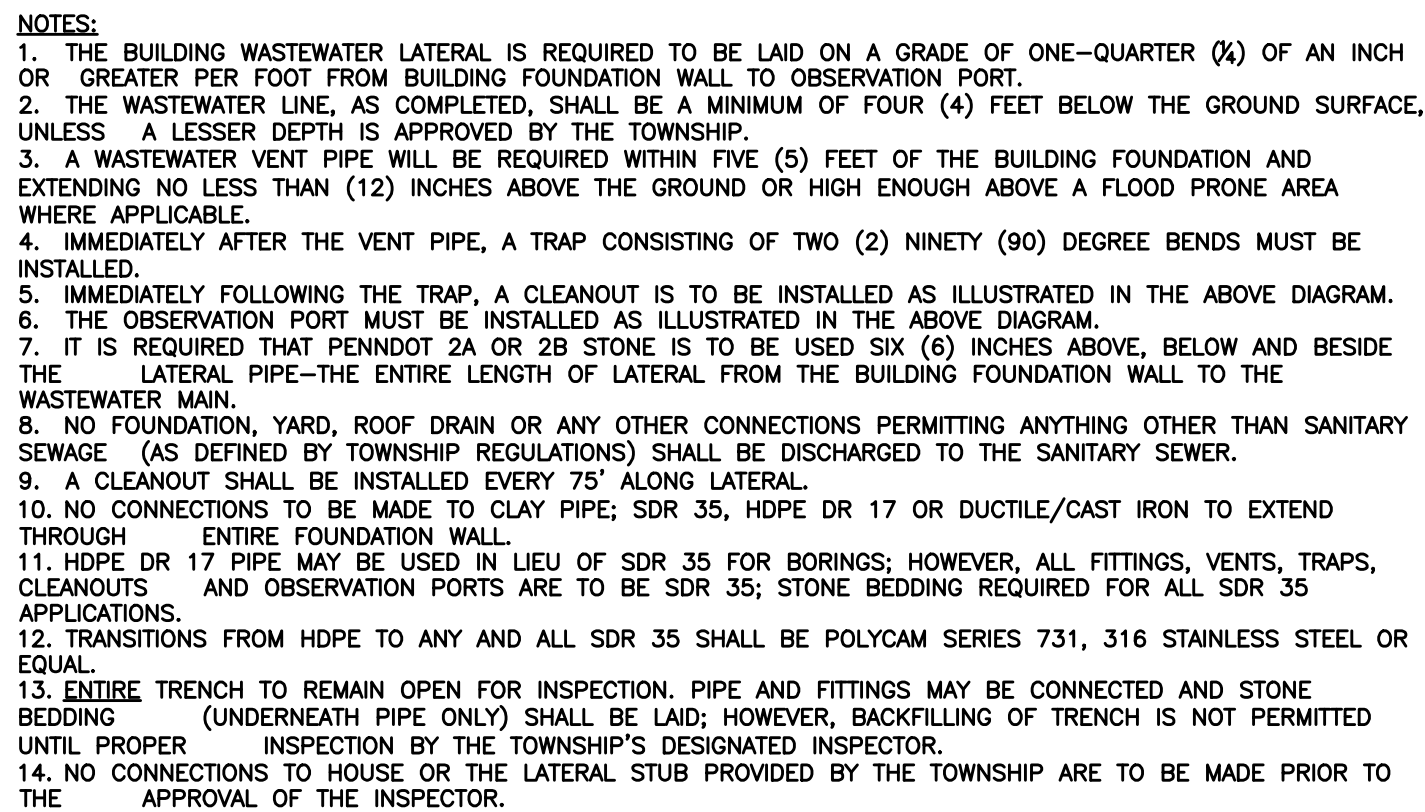
50 LB. BAG OF CONCRETE CENTERED BENEATH JOINT (NOT REQUIRED IN ROCK EXCAVATION)

NO. 8 OR PA NO. 2A, COARSE AGGREGATE PIPE BEDDING MATERIAL, COMPACTED IN 4" LIFTS.

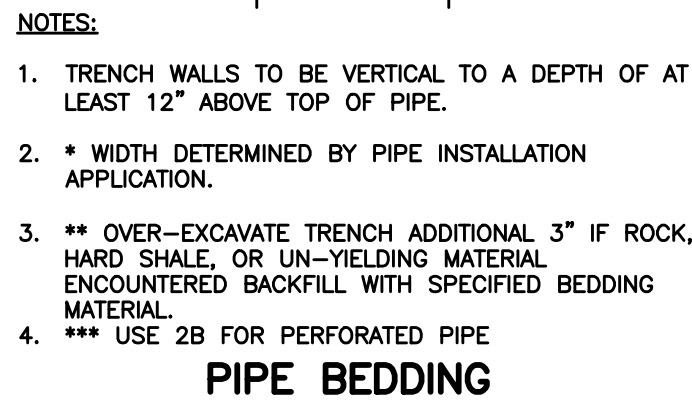
NOTE: RECONNECTIONS TO BE AIR TESTED IN ACCORDANCE WITH SPECIFICATIONS.

MECHANICAL JOINT COUPLINGS TO BE SMITH-BLAIR OR APPROVED EQUAL.

TYPICAL	
NO. SCALE	DETAIL NO.
1/4" = 1'	1
1/2" = 1'	2
3/4" = 1'	3
1" = 1'	4
1 1/2" = 1'	5
2" = 1'	6
3" = 1'	7
4" = 1'	8
6" = 1'	9
8" = 1'	10
12" = 1'	11
18" = 1'	12
24" = 1'	13
36" = 1'	14
48" = 1'	15
60" = 1'	16
72" = 1'	17
96" = 1'	18
120" = 1'	19
144" = 1'	20
168" = 1'	21
192" = 1'	22
216" = 1'	23
240" = 1'	24
264" = 1'	25
288" = 1'	26
312" = 1'	27
336" = 1'	28
360" = 1'	29
384" = 1'	30
408" = 1'	31
432" = 1'	32
456" = 1'	33
480" = 1'	34
504" = 1'	35
528" = 1'	36
552" = 1'	37
576" = 1'	38
600" = 1'	39
624" = 1'	40
648" = 1'	41
672" = 1'	42
696" = 1'	43
720" = 1'	44
744" = 1'	45
768" = 1'	46
792" = 1'	47
816" = 1'	48
840" = 1'	49
864" = 1'	50
888" = 1'	51
912" = 1'	52
936" = 1'	53
960" = 1'	54
984" = 1'	55
1008" = 1'	56
1032" = 1'	57
1056" = 1'	58
1080" = 1'	59
1104" = 1'	60
1128" = 1'	61
1152" = 1'	62
1176" = 1'	63
1200" = 1'	64
1224" = 1'	65
1248" = 1'	66
1272" = 1'	67
1296" = 1'	68
1320" = 1'	69
1344" = 1'	70
1368" = 1'	71
1392" = 1'	72
1416" = 1'	73
1440" = 1'	74
1464" = 1'	75
1488" = 1'	76
1512" = 1'	77
1536" = 1'	78
1560" = 1'	79
1584" = 1'	80
1608" = 1'	81
1632" = 1'	82
1656" = 1'	83
1680" = 1'	84
1704" = 1'	85
1728" = 1'	86
1752" = 1'	87
1776" = 1'	88
1800" = 1'	89
1824" = 1'	90
1848" = 1'	91
1872" = 1'	92
1896" = 1'	93
1920" = 1'	94
1944" = 1'	95
1968" = 1'	96
1992" = 1'	97
2016" = 1'	98
2040" = 1'	99
2064" = 1'	100
2088" = 1'	101
2112" = 1'	102
2136" = 1'	103
2160" = 1'	104
2184" = 1'	105
2208" = 1'	106
2232" = 1'	107
2256" = 1'	108
2280" = 1'	109
2304" = 1'	110
2328" = 1'	111
2352" = 1'	112
2376" = 1'	113
2400" = 1'	114
2424" = 1'	115
2448" = 1'	116
2472" = 1'	117
2496" = 1'	118
2520" = 1'	119
2544" = 1'	120
2568" = 1'	121
2592" = 1'	122
2616" = 1'	123
2640" = 1'	124
2664" = 1'	125
2688" = 1'	126
2712" = 1'	127
2736" = 1'	128
2760" = 1'	129
2784" = 1'	130
2808" = 1'	131
2832" = 1'	132
2856" = 1'	133
2880" = 1'	134
2904" = 1'	135
2928" = 1'	136
2952" = 1'	137
2976" = 1'	138
3000" = 1'	139
3024" = 1'	140
3048" = 1'	141
3072" = 1'	142
3096" = 1'	143
3120" = 1'	144
3144" = 1'	145
3168" = 1'	146
3192" = 1'	147
3216" = 1'	148
3240" = 1'	149
3264" = 1'	150
3288" = 1'	151
3312" = 1'	152
3336" = 1'	153
3360" = 1'	154
3384" = 1'	155
3	



WASTEWATER SERVICE LATERAL

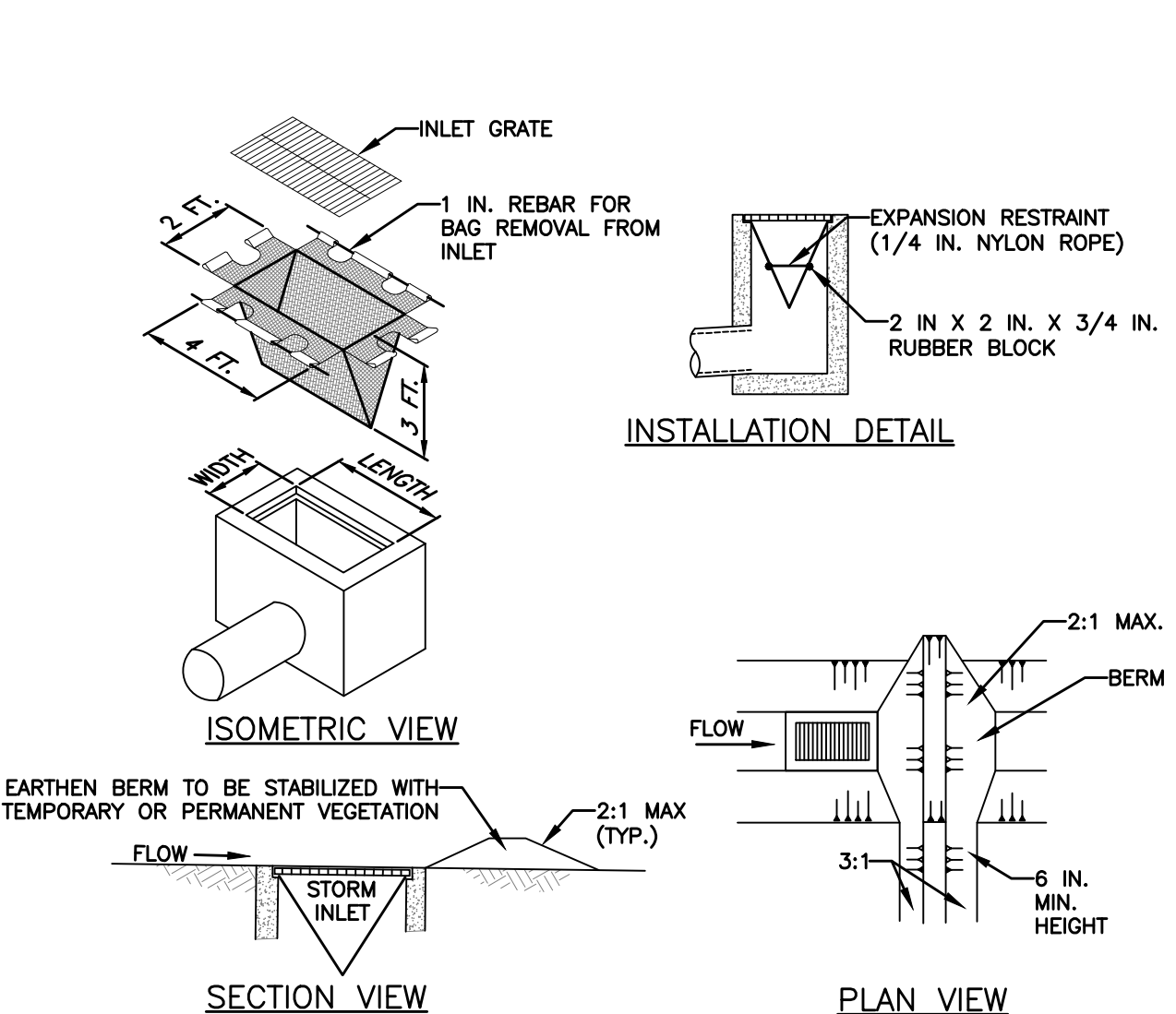
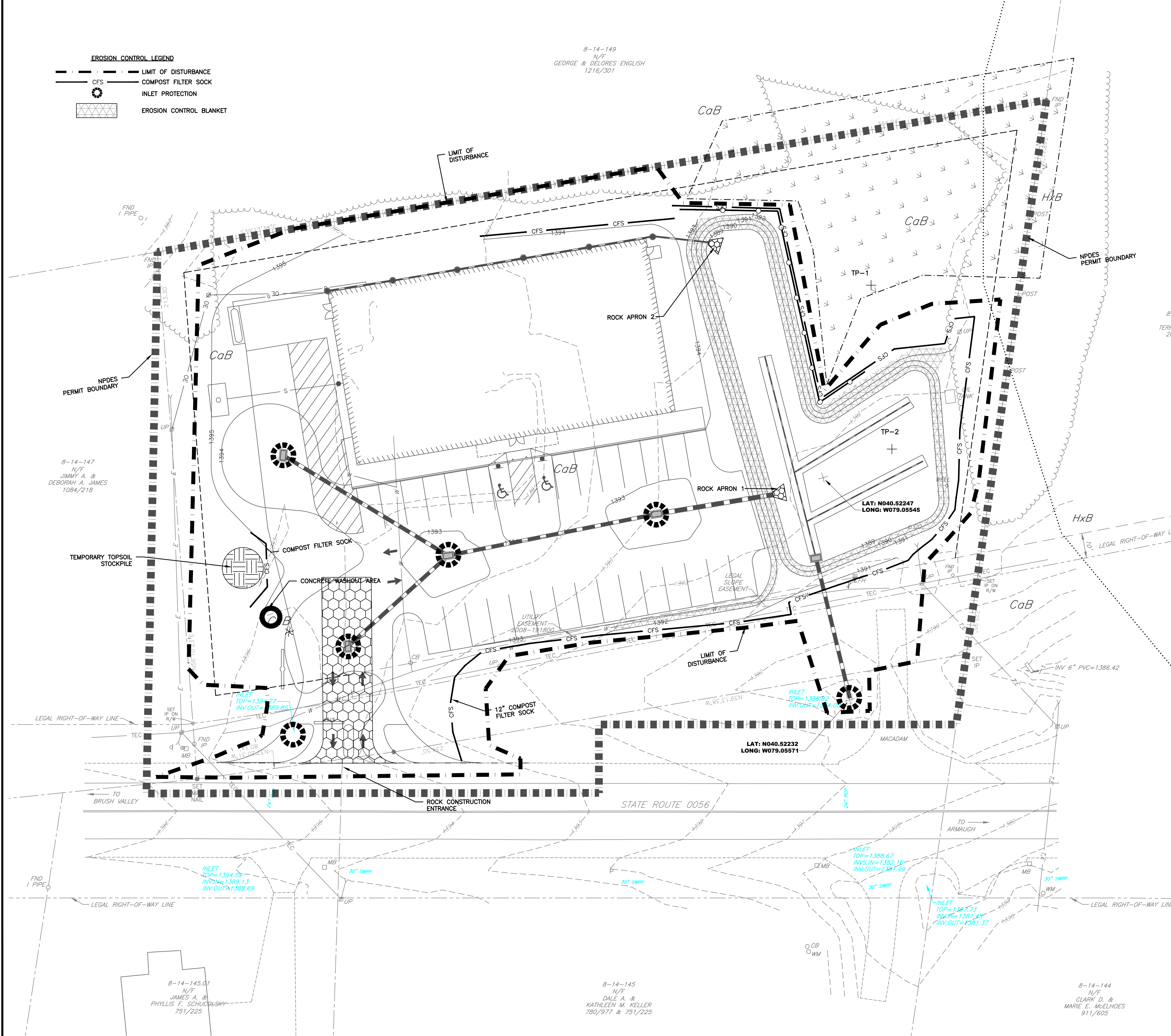
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NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

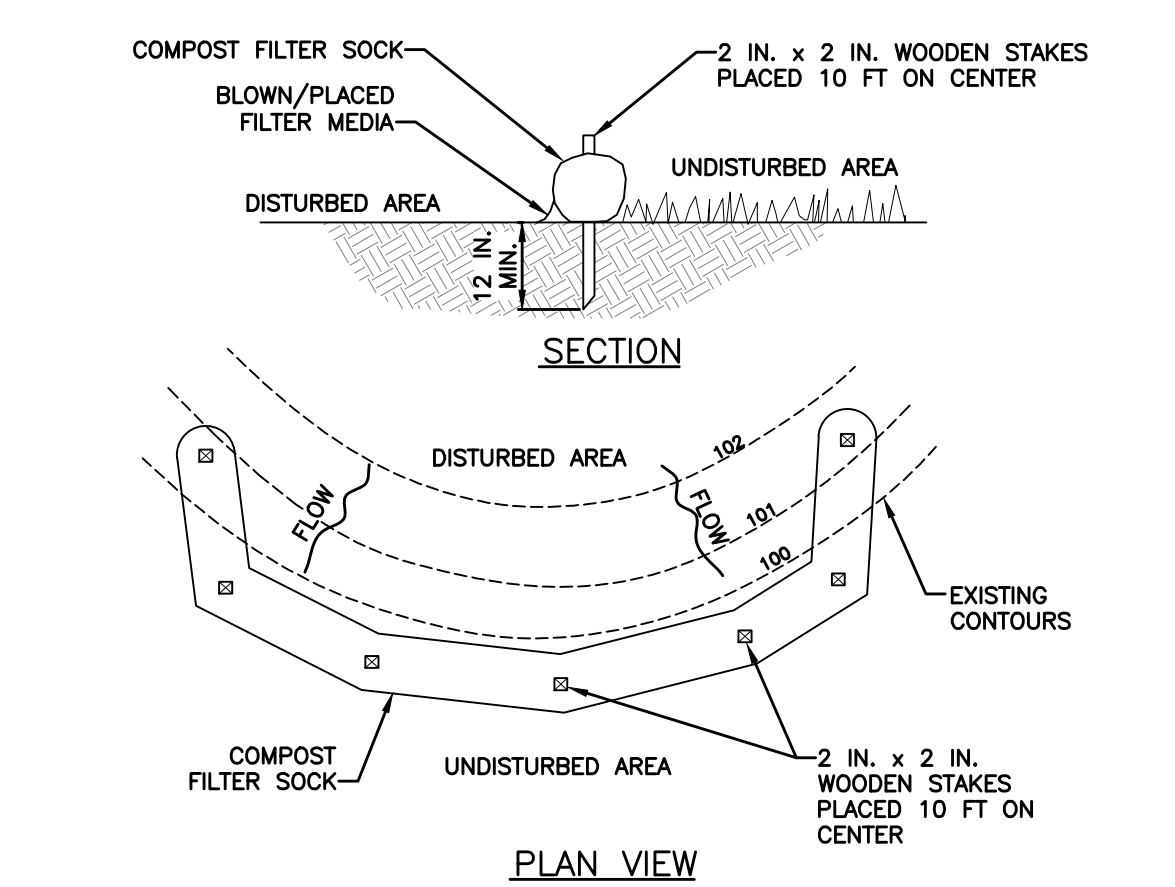
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET
NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-17
COMPOST FILTER SOCK
NOT TO SCALE

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PROJECT NO.:	4530-S
FILE NAME:	ES1.DWG
DATE:	11/13/20
DESIGNED BY:	BS
DRAWN BY:	BAC
CHECKED BY:	

**EROSION & SEDIMENTATION
CONTROL PLAN AND DETAILS**
HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

ES1

EROSION AND SEDIMENT CONTROL NOTES
GENERAL

1. STORMWATER FROM THIS PROJECT WILL FLOW TO TRIBUTARY BRUSH CREEK THAT HAS A DESIGNATED AND/OR EXISTING USE, ACCORDING TO PA DEP, OF CWF
2. TOTAL SITE ACREAGE = 1.84 ACRES / TOTAL DISTURBANCE = 1.73 ACRES
3. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
4. CONSTRUCTION SHALL NOT COMMENCE UNTIL THE HUNTINGSDON COUNTY CONSERVATION DISTRICT HAS APPROVED THE EROSION AND SEDIMENT CONTROL PLAN.
5. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
6. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
7. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
8. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW.

DUE DILIGENCE

1. THE PRIMARY CONTRACTOR IS RESPONSIBLE FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE CONCERNING THE USE OF OR DISPOSAL OF CLEAN FILL FROM THIS PROJECT. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION 'S POLICY ENTITLED "MANAGEMENT OF FILL".
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE UNFILLED ASPHALT OR ASPHALT RE-USE). CLEAN FILL MUST BE CLEAN, AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS AND FOLLOW THE GUIDANCE AS SET FORTH IN DEP POLICY "MANAGEMENT OF FILL".
3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.

EARTHWORK

1. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S). IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
2. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS.
3. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES OR IF CONDUCTED, AS RECOMMENDED IN PROJECT SITE.
4. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS OR, IF CONDUCTED, IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION OF PROJECT SITE.
5. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
6. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
7. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
8. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
9. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
10. SHOULD UNANTICIPATED GEOLOGIC OR SOIL CONDITIONS BE ENCOUNTERED DURING EARTHMOVING THAT PRESENT A CONCERN ABOUT THE POTENTIAL FOR THE PRODUCTION OF POLLUTION, ALL EARTHMOVING ACTIVITIES SHALL CEASE UNTIL A QUALIFIED GEO-TECHNICAL PROFESSIONAL EVALUATES THE SITUATION.
11. SHOULD SHALE BEDROCK BE EXPOSED DURING EXCAVATION THE FOLLOWING STEPS MUST BE TAKEN: NOTIFY THE GEOTECHNICAL ENGINEER-OF-RECORD (GER) IMMEDIATELY IF DECOMPOSED, WEATHERED AND/OR INTACT SHALE BEDROCK IS ENCOUNTERED. THE GER SHALL VISIT THE SITE WITHIN 24 HOURS TO DETERMINE IF ADDITIONAL LABORATORY TESTING (TOTAL SULFUR AND NEUTRALIZATION POTENTIAL) IS WARRANTED. ADDITIONAL COMMUNICATION BETWEEN THE SITE CIVIL ENGINEER, THE GER AND THE PADEP WILL BE REQUIRED TO REVIEW ANY LABORATORY RESULTS AND TO DETERMINE THE MOST APPROPRIATE REMEDIAL PROGRAM, IF WARRANTED.

GRADING STANDARDS

1. AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS.
2. AREAS WHICH ARE TO BE TOPSOILED SHOULD BE SCARIFIED TO A DEPTH OF 3 TO 5 INCHES, OR 6 TO 12 INCHES ON COMPACTED SOILS, PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHOULD HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHOULD HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
3. ALL EARTHEN FILLS SHOULD BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO UPPORT BUILDINGS, ROADWAYS, STRUCTURES AND CONDUITS, ETC. SHOULD BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
4. ALL EARTHEN FILLS SHOULD BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
5. FILL MATERIALS SHOULD BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
6. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHOULD NOT BE INCORPORATED INTO FILLS.
7. FILL SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
8. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHOULD BE HANDLED IN ACCORDANCE WITH STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
9. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
10. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHOULD BE SHOWN ON THE PLAN MAPS AND SHOULD BE SUBJECT TO THE PROVISIONS OF THESE STANDARDS AS WELL AS THOSE OF THE APPROVED E&S PLAN. ALL APPROPRIATE PERMITS/AUTHORIZATION SHOULD BE OBTAINED PRIOR TO EARTH DISTURBANCE ACTIVITIES WITHIN THESE AREAS.
11. WHEREVER POSSIBLE, FILLS SHOULD NOT BE CONSTRUCTED FROM OR BUILT UPON SOILS KNOWN TO HAVE LOW SHEAR STRENGTH OR THAT HAVE BEEN IDENTIFIED AS "LANDSLIDE PRONE" UNLESS IT CAN BE SHOWN THAT IT CAN BE DONE WITH AN ACCEPTABLE SAFETY FACTORY.
12. WHEREVER FILLS ARE TO BE CONSTRUCTED OUT OF OR ONTO SOILS IDENTIFIED AS HAVING LOW SHEAR STRENGTH OR ARE "LANDSLIDE PRONE," A REPORT SHOULD BE PREPARED BY A PROFESSIONAL GEOTECHNICAL ENGINEER OR PROFESSIONAL GEOLOGIST WHICH ADDRESSES THE FOLLOWING:
 - a. THE CHARACTER OF THE BEDROCK AND ANY ADVERSE GEOLOGIC CONDITION IN THE AREA OF THE FILLS
 - b. INCLUDING PREVIOUS SLOPE FAILURES.
 - c. A SURVEY OF ALL SPRINGS, SEEPS, AND GROUNDWATER FLOW OBSERVED OR ANTICIPATED DURING WET PERIODS IN THE AREAS OF THE FILLS.
 - d. THE MAXIMUM STEEPNESS OF SLOPE AND HEIGHT OF FILL TO BE CONSTRUCTED ON THE SITES.
 - e. A STABILITY ANALYSIS INCLUDING, BUT NOT LIMITED TO, STRENGTH PARAMETERS, PORE PRESSURES, AND LONG-TERM SEEPAGE CONDITIONS. THESE DATA SHOULD BE ACCOMPANIED BY A DESCRIPTION OF ALL ENGINEERING DESIGN ASSUMPTIONS AND CALCULATIONS AS WELL AS THE ALTERNATIVES CONSIDERED IN SELECTING THE DESIGN SPECIFICATIONS AND TESTING METHODS.
 - f. THE ESTIMATED FACTOR OF SAFETY USED TO DESIGN THE SLOPES. AT A MINIMUM, THE LONG-TERM SAFETY FACTOR SHOULD BE 1.5 FOR CUTS OR FILLS WITHIN 50 FEET OF PUBLIC HIGHWAYS, RAILROADS, SURFACE WATERS, OR WHERE FAILURE COULD ENDANGER PUBLIC SAFETY. THE SAFETY FACTOR SHOULD BE A MINIMUM OF 1.25 FOR ALL OTHER FILLS.

BMP CONSTRUCTION AND MAINTENANCE

1. THE PRIME SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF BOTH TEMPORARY AND PERMANENT BMP'S FOR THE DURATION OF THE CONSTRUCTION EFFORT. THE PRIME SITE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTENANCE OF ALL BMP'S UNTIL STABILIZATION HAS OCCURRED.
2. UPON STABILIZATION, THE PRIME SITE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL TEMPORARY BMP'S. BEFORE ANY TEMPORARY EROSION CONTROL STRUCTURES ARE REMOVED, A VEGETATIVE COVERAGE WITH A DENSITY OF 70% ACROSS THE DISTURBED AREAS MUST BE ACHIEVED. AFTER PROJECT COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR LONG-TERM MAINTENANCE OF ANY PERMANENT BMP'S.
3. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMP'S AFTER EACH MEASUREABLE STORM EVENT (0.25 INCHES OR MORE) AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
4. A WRITTEN LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF ANY INSPECTIONS. IT IS RECOMMENDED THAT DEP'S VISUAL INSPECTION REPORT FORM (3150-FM-BW00083) BE UTILIZED AS THE LOG TO TRACK AND DOCUMENT REQUIRED MAINTENANCE ACTIVITIES INCLUDING ANY CORRECTIONS AND/OR REPAIRS TO BMP'S.
5. BMP MAINTENANCE WILL BE PERFORMED IN ACCORDANCE WITH THE INDIVIDUAL DEVICE SCHEDULES AS SHOWN IN THE STANDARD CONSTRUCTION DETAILS.
6. THE PRIME SITE CONTRACTOR SHALL INSPECT BOTH TEMPORARY AND PERMANENT BMP'S ON THIS SCHEDULE UNTIL STABILIZATION IS ACHIEVED. AT THIS POINT, THE OWNER SHALL COMMENCE WEEKLY INSPECTIONS OF THE PERMANENT FACILITIES.
7. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
8. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
9. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
10. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES

RECYCLING & DISPOSAL OF WASTE MATERIALS

1. THE PRIMARY SITE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF WASTE FROM THIS PROJECT DURING CONSTRUCTION. CONSTRUCTION WASTES ARE THOSE THAT CAN ADVERSELY IMPACT WATER QUALITY AND INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH-WATER, AND SANITARY WASTES. THE CONTRACTOR WILL INSPECT THE PROJECT AREA WEEKLY AND PROPERLY DISPOSE OF ALL CONSTRUCTION WASTE. LITTERING BY CONSTRUCTION CREWS IS DISCOURAGED; HOUSEKEEPING OF THE SITE AND THE SURROUNDING AREA IS ENCOURAGED. WHENEVER POSSIBLE, REUSABLE WASTES WILL BE SEPARATED FROM OTHER WASTE AND HANDLED FOR RECYCLING.
2. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601.1 ET SEQ. 271.1. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
3. CONCRETE WASHOUT A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CONCRETE FROM CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM SURFACE WATER OR BE ALLOWED TO ENTER ANY SURFACE WATER. PROPER SIGNAGE MUST BE PROVIDED SO DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES. A COMPOST FILTER SOCK WASHOUT AS SHOWN ON THE TYPICAL DETAIL DRAWING OR SUITABLE ALTERNATIVE APPROVED BY THE CONSERVATION DISTRICT OR DEPARTMENT MUST BE PROVIDED ON SITE. DO NOT PLACE WASHOUT FACILITIES WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS, INCLUDING WETLANDS.

SOIL LIMITATIONS AND RESOLUTIONS

SOIL NAME, SYMBOL	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHT	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE	HYDRIC /HYDRIC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	LOW PERCOLATION	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK SWELL	POTENTIAL SINKHOLE	FOUNDING	WETNESS
CoB - CAVODE SOLT LOAM	X	C/S	X		X	X			X	X	X	X	X		X
HxB - HAZLETON CLYMER COMPLEX	X	C	X	X				X	X	X	X	X			

POOR SOURCE OF TOPSOIL, UNKNOWN SOIL CONDITIONS/DROUGHTY - APPLY ADEQUATE RATES OF LIME AND FERTILIZER FOR USE AS SOIL AMENDMENT. SOIL TESTING IS STRONGLY RECOMMENDED. IRRIGATION MAYBE NEEDED WHEN THIS SOIL IS USED FOR LANDSCAPED AREAS OR PCSM BMP'S

DROUGHTY - IRRIGATION MAY BE NEEDED WHEN THE SOIL IS USED FOR LANDSCAPED AREAS OR VERGETATED PCSM BMP'S

CORROSIVITY, LOW STRENGTH, LANDSLIDE POTENTIAL, WETNESS/DEPTH TO HIGH WATER TABLE, PIPING, FROST ACTION, SHRINK SWELL - CONDUCT GEO-TECHNICAL INVESTIGATION IF THESE SOILS WILL BE IMPACTED. SITE & STRUCTURAL BUILDING DESIGN WILL BE BASED ON RESULTS OF GEO-TECHNICAL INVESTIGATION.

HYDRIC INCLUSIONS, WETNESS/FLOODING - WETLAND INVESTIGATION HAS BEEN CONDUCTED: WETLANDS HAVE BEEN IDENTIFIED ON THE PROPERTY - THERE WILL BE NO IMPACTS TO WETLAND RESOURCES.

LOW STRENGTH/ LANDSLIDE/ SINKHOLE POTENTIAL/ SHRINK SWELL/ PIPING/ FROST ACTION - CONDUCT THROUGH GEO-TECHNICAL ANALYSIS IF EARTHMOVING WILL INVOLVE SIGNIFICANT AREAS OF MAJOR CUT AND IF IN LOCATION OF PROPOSED BUILDING TO DETERMINE STRUCTURALSUITABILITY/ POTENTIAL IMPACT TO BUILDING FOUNDATIONS/ EVIDENCE OF KARTS FEATURES. ASSURE THE PROPER COMPACTION OF FILL AREAS HAS BEEN ACHIEVED DURING EARTHMOVING OPERATIONS.

SLOW PERCOLATION/POORLY DRAINED, WETNESS/DEPTH TO HIGH WATER TABLE - CONDUCT INFILTRATION TESTING IF THESE SOILS ARE IMPACTED BY PCSM BMP'S.

EROSION HAZARD - MINIMIZE DISTURBED AREA; IMPLEMENT STABILIZATION BMP'S IMMEDIATELY. TEMPORARY STABILIZATION MUST BE IMPLEMENTED IMMEDIATELY IN AREAS WHERE ACTIVITY HAS CEASED FOR FOUR (4) OR MORE DAYS.

STABILIZATION

1. STOCKPILED TOPSOIL SHALL BE UTILIZED ON ALL SURFACE AREAS TO RECEIVE PERMANENT STABILIZATION AND SUPPLEMENTED IF NEEDED.
2. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
3. CUT OR FILL SLOPES WILL BE SEEDED AND MULCHED IN REGULAR VERTICAL INCREMENTS (15' MAX.) AS THE SLOPE IS BEING CONSTRUCTED.
4. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
5. WITHIN FOUR(4) DAYS AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
6. ALL FINAL SLOPES 3:1 OR STEEPER, WITHIN 50 FEET OF A SURFACE WATER, AND/OR ON ANY OTHER DISTURBED AREA SPECIFIED ON THE PLAN DRAWINGS WILL HAVE AN EROSION CONTROL BLANKET INSTALLED IN CONJUNCTION WITH THE PERMANENT VEGETATIVE BMP. NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKET OR EQUIVALENT SHALL BE USED FOR THIS PURPOSE.
7. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
8. TEMPORARY STABILIZATION WILL BE UTILIZED AS NEEDED DURING PLANNED OR UNPLANNED PROJECT SUSPENSION OR IF THE DISTURBED AREA ACHIEVES FINAL GRADE DURING AN UNFAVORABLE GROWING SEASON. DURING THE WINTER, TEMPORARY STABILIZATION CONSISTS OF MULCHING AT THE RATE OF 3 TONS/ACRE. ALL OTHER TIMES UTILIZE TEMPORARY SEED AND MULCH IN ACCORDANCE WITH THE DETAIL SHOWN IN THIS PLAN.

VEGETATIVE STABILIZATION - PENNDOT FORMULA E
TEMPORARY STABILIZATION - PENNDOT FORMULA E
SEED MIX/SPECIES PLS** RATE OF APPLICATION LBS/AC
ANNUAL RYEGRASS 88% 48
MULCH: STRAW (CLEAN OAT OR WHEAT) OR HAY AT THE RATE OF 3 TONS/ACRE (3 BALES PER 1000 SQUARE FEET) APPLIED WITH NON-ASPHALTIC EMULSION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION
SOIL AMENDMENTS - STANDARD APPLICATION RATE
FERTILIZER 10-20-20 APPLIED AT RATE OF 500LB/AC*
LIME 1 TON/ACRE*
*SOIL TESTING SUGGESTED FOR PROPER RATE OF APPLICATION
RECOMMENDED DATE RANGE FOR APPLICATION: MARCH 15 TO OCT. 15
TEMPORARY STABILIZATION IMPLEMENTED OUTSIDE THIS DATE RANGE CAN BE MULCH (STRAW OR HAY) ALONE AT THE RATE SHOWN ABOVE
**PLS = PERCENT LIVE SEED

NURSE CROP: (PER PSU "EROSION CONTROL & CONSERVATION PLANTINGS ON NON-CROPLAND") ONE OF THE FOLLOWING NURSE CROPS MUST BE INCLUDED WITH ANY PERMANENT SEED MIXTURE:
SEED MIX/SPECIES RATE OF APP. LBS/AC(W/90% + GERM) RATE OF APP. LBS/AC(W/ < 90% GERM)
SPRING OATS 64 80
WINTER WHEAT 690 720
WINTER RYE 56 84

PERMANENT STABILIZATION - PENNDOT FORMULA L
STEEP SLOPES AND OTHER NON-MOWED SURFACES
SEED MIX/SPECIES PLS** RATE OF APPLICATION (LB/1000 SY)
HARD FESCUE MIX 26.4
CREEPING RED FESCUE 16.8
ANNUAL RYEGRASS 4.8
PULVERIZED AGRICULTURAL LIME 800 LB/1000 SY
*FERTILIZER 10-20-20 APPLIED AT RATE OF 140 LB/1000 SY
*FERTILIZER 38-0-0 APPLIED AT RATE OF 50 LB/1000 SY
MULCH: HAY AT THE RATE OF 3 TONS/ACRE (3 BALES PER 1000 SQUARE FEET) APPLIED WITH NON-ASPHALTIC EMULSION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION
RECOMMENDED DATE RANGE FOR APPLICATION: MARCH 15 TO JUNE 1 AND AUG. 1 TO OCT. 15
*SOIL TESTING SUGGESTED FOR PROPER RATE OF APPLICATION

PERMANENT STABILIZATION - PENNDOT FORMULA B
LAWNS OR OTHER MOWED AND MAINTAINED SURFACES
SEED MIX/SPECIES PLS** RATE OF APPLICATION LBS/AC
PERENNIAL RYEGRASS 88.2% 19
CREEPING RED OR CHEWING FESCUE 83.3% 29
KENTUCKY BLUEGRASS MIX: 78.4% 53
MULCH: CLEAN OAT OR WHEAT STRAW AT THE RATE OF 3 TONS/ACRE (3 BALES PER 1000 SQUARE FEET) APPLIED WITH NON-ASPHALTIC EMULSION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION
SOIL AMENDMENTS - STANDARD APPLICATION RATE
FERTILIZER 10-20-20 APPLIED AT RATE OF 1000 LB/AC*
LIME 6 TON/ACRE*
RECOMMENDED DATE RANGE FOR APPLICATION: MARCH 15 TO JUNE 1 AND AUG. 1 TO OCT. 15
*SOIL TESTING SUGGESTED FOR PROPER RATE OF APPLICATION
**PLS = PERCENT LIVE SEED

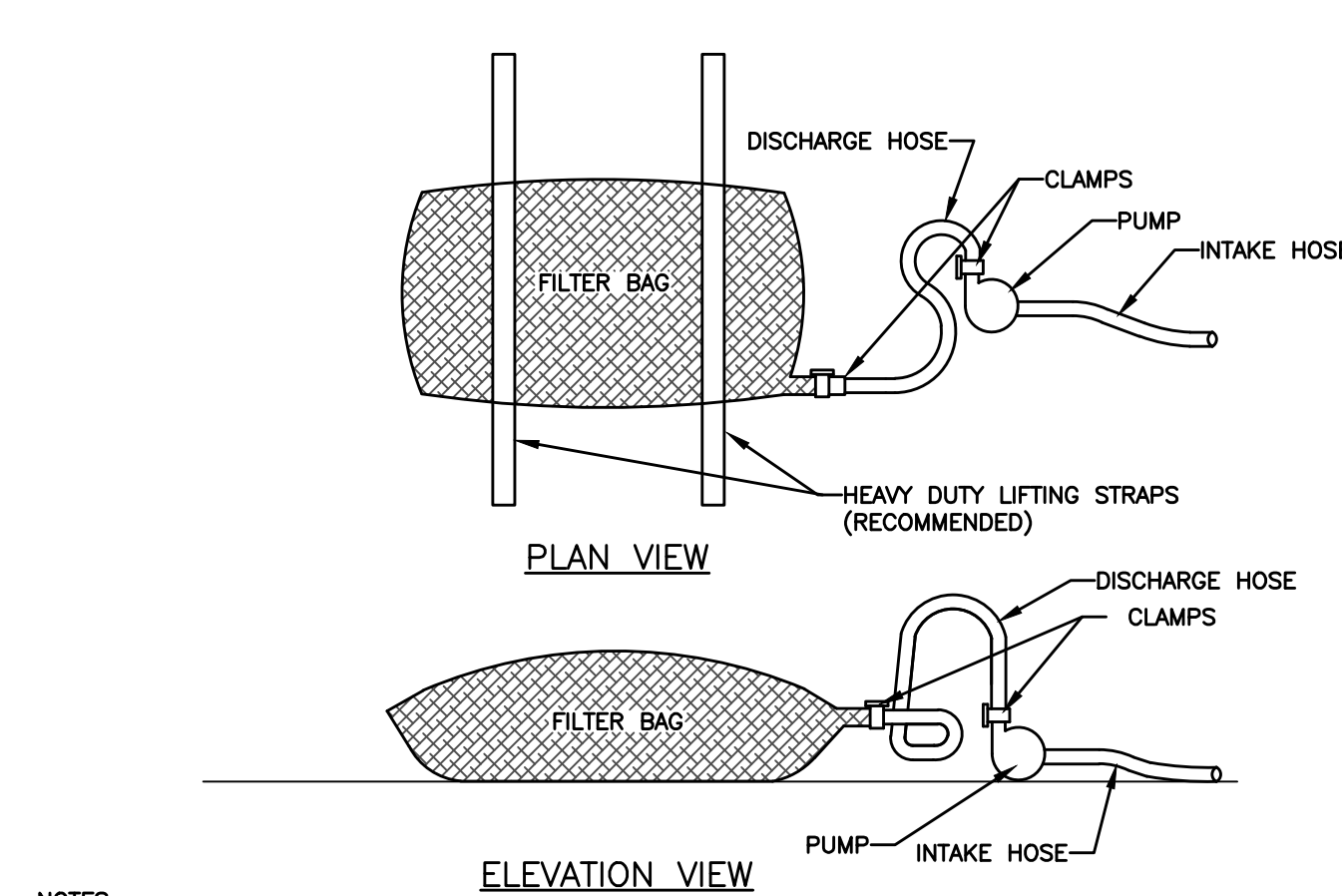
BMP SEQUENCE OF INSTALLATION AND REMOVAL

1. THE CONTRACTOR SHALL INVITE A REPRESENTATIVE FROM THE INDIANA COUNTY CONSERVATION DISTRICT TO ATTEND THE PRE-CONSTRUCTION MEETING AND PROVIDE AT LEAST 7 DAYS NOTICE OF THE PRE-CONSTRUCTION MEETING TO ALL INVITED ATTENDEES. PERMITEES, CO-PERMITEES, OPERATORS, AND LICENSED PROFESSIONALS OR DESIGNERS RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND A PRE-CONSTRUCTION MEETING
2. UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH DISTURBANCE ACTIVITIES, THE PERMITEE OR CO-PERMITEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA CIVIL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE INDIANA COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
5. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE FOLLOWING CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.

SITE SPECIFIC SEQUENCE

- STAGE 1
1. FIELD-MARK LIMITS OF DISTURBANCE.
 2. INSTALL COMPOST FILTER SOCK AS SHOWN ON THE E&S PLAN DRAWINGS.
 3. INSTALL ROCK CONSTRUCTION ENTRANCE.
 4. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- STAGE 2 SITE EARTHWORK
5. DEMOLISH OF EXISTING STRUCTURE AN ACCESSORY BUILDINGS
 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING CAN NOW BEGIN.
 7. ANY AVAILABLE SUITABLE TOPSOIL WILL BE STOCKPILED AS SHOWN ON THE CONSTRUCTION DRAWINGS AND PROTECTED BY SEEDING AND MULCHING AND THE INSTALLATION OF PERIMETER COMPOST FILTER SOCK AROUND THE STOCKPILE.
 8. CONSTRUCT BIO RETENTION AREA
 9. INSTALL SUBSURFACE UTILITIES AND STORMWATER CONVEYANCE SYSTEM.
 10. COMPLETE SITE GRADING AND ADDITIONAL SITE WORK.
 11. PLACE CRUSHED AGGREGATE SURFACE AS SOON AS LOT SURFACES HAVE BEEN GRADED.
 12. COMPLETE ASPHALT PAVEMENT.
 13. REPLACE TOPSOIL (4" - 6 INCHES) ON REMAINING DISTURBED AREA
 14. PLACE EROSION CONTROL BLANKET ON SLOPES EXCEEDING 3:1.
 15. APPLY SEED AND MULCH
 16. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION PRIOR TO CONVERTING E&S BMP'S TO PCSM BMP'S OR TO SCHEDULE A FINAL INSPECTION IF THE PROJECT IS COMPLETE.

NOTE:
TEMPORARY SEEDING WILL BE USED AS NEEDED. TEMPORARY SEED AND MULCH (IN ACCORDANCE WITH DETAIL) WILL BE APPLIED IN ALL AREAS WHERE ACTIVITIES CEASE FOR FOUR (4) DAYS OR IF ANY DISTURBED AREA ACHIEVES FINAL GRADE DURING AN UNFAVORABLE SEEDING SEASON.



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FILLED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

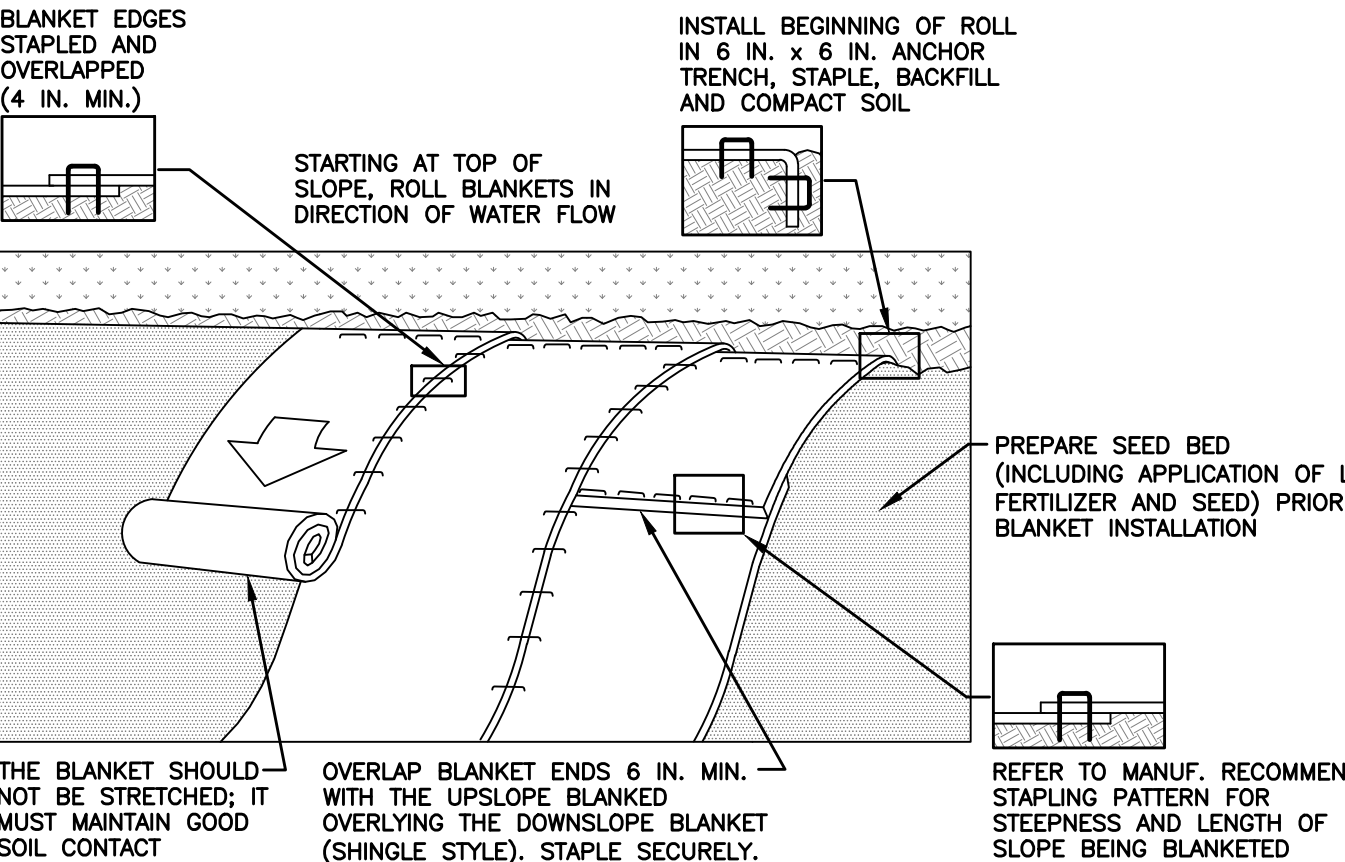
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16

PUMPED WATER FILTER BAG

NOT TO SCALE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1

EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE

420 Allegheny Street
Holidaysburg, PA 16648
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PROJECT NO.: 4330-5
FILE NAME: PLOT E&S 1
DATE: 11/13/20
DESIGNED BY: BSG
DRAWN BY: BAC
CHECKED BY: ---

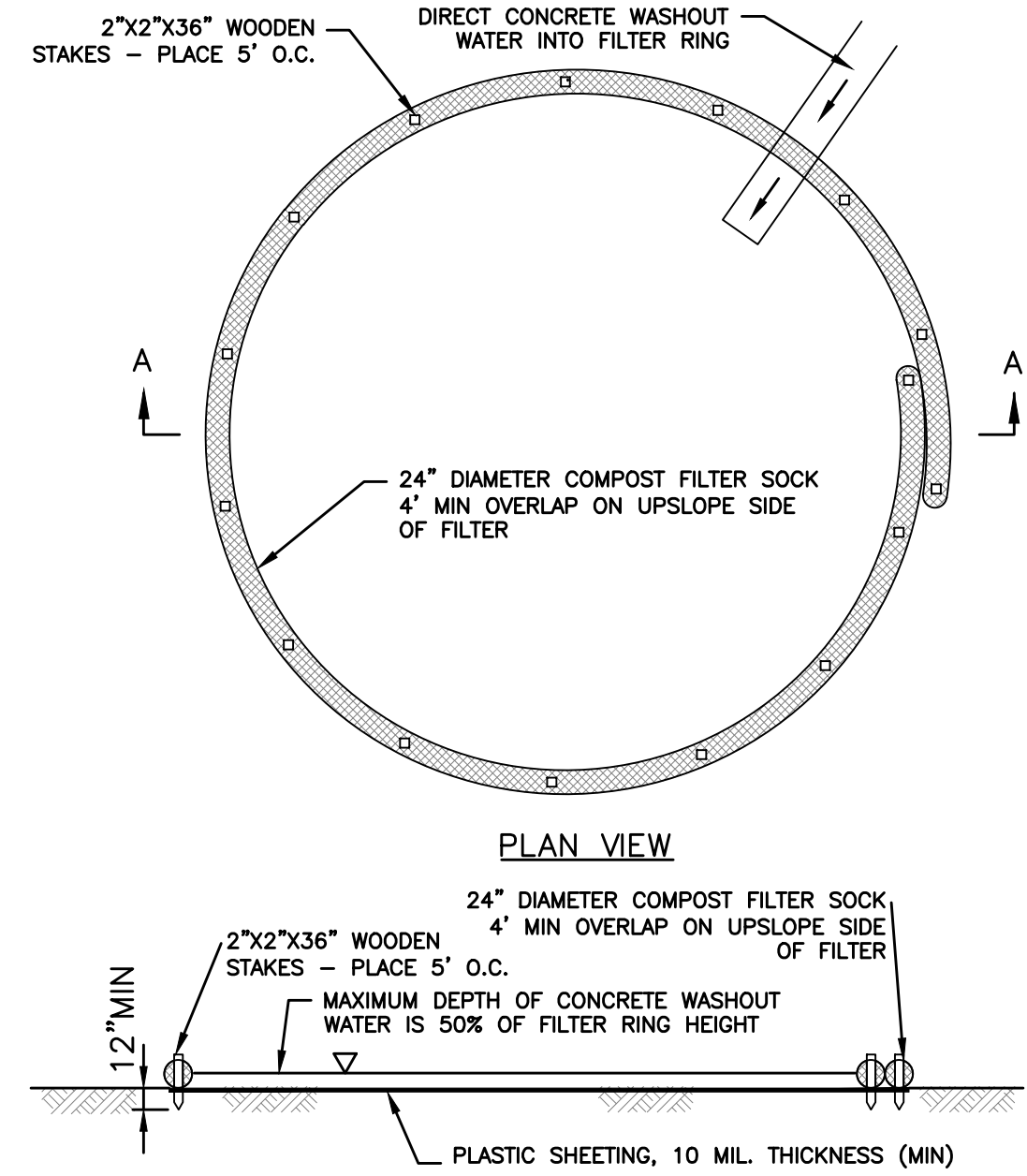
EROSION & SEDIMENTATION
CONTROL NOTES AND DETAILS
HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

REVISION DESCRIPTION
DATE & INITIALS

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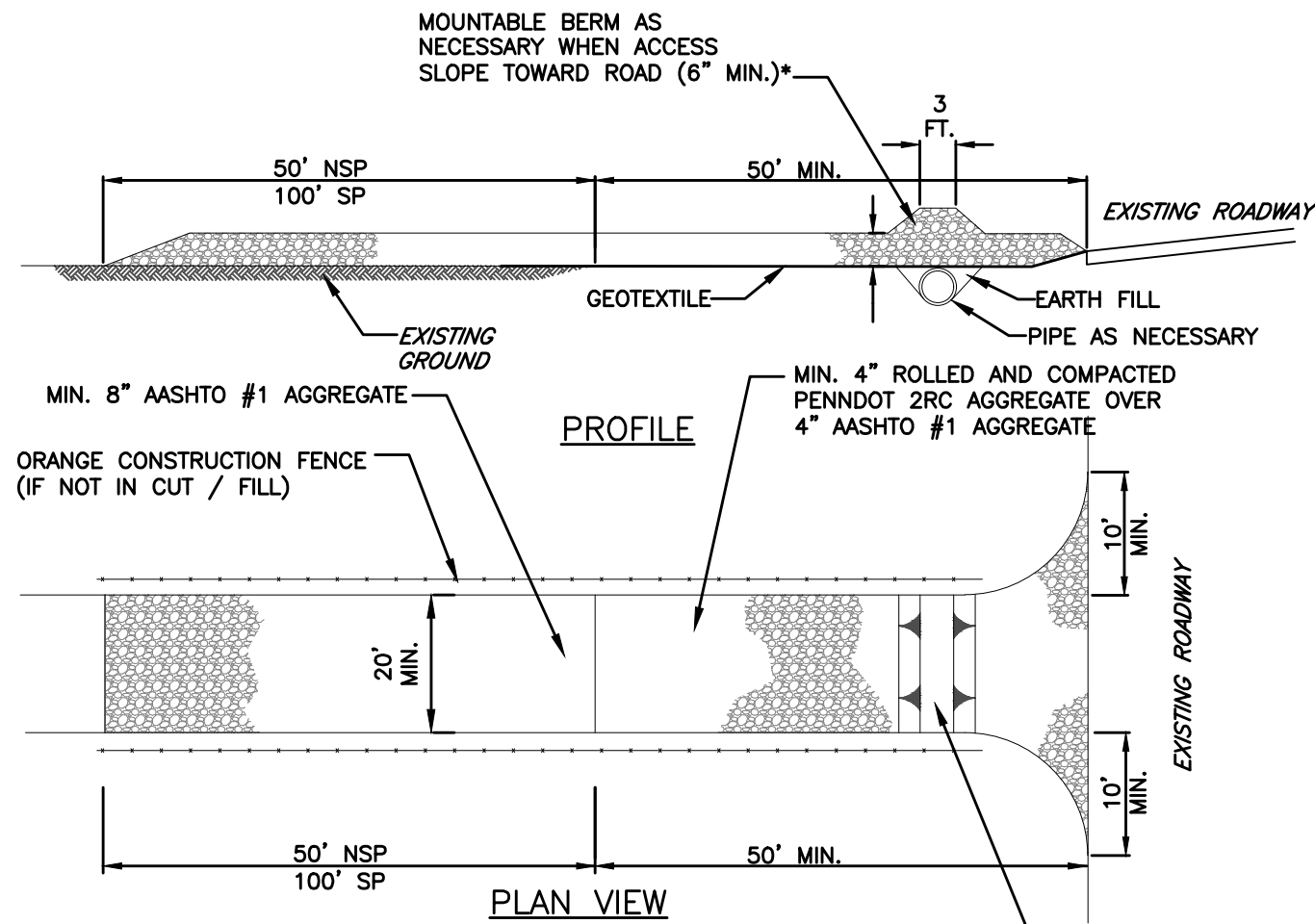
PLAN VIEW

SECTION A-A

- NOTES:
- 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 - 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE
 - 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
 - IMPERVIOUS PLASTIC SHEETING SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT.
 - STAKE COMPOST SOCKS AS RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE PLASTIC SHEETING SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER.
 - ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE PLASTIC SHEETING AT ALL LOCATIONS.
 - WHERE NECESSARY, SOCKS MAY BE STACKED AND STAKED SO AS TO FORM A TRIANGULAR CROSS-SECTION.
 - PLACE AT A CONVENIENT LOCATION FOR ACCESS BY THE CONCRETE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
 - THE WASHOUT MUST BE CLEANED OF ACCUMULATED MATERIAL WHEN FACILITY IS 75% FULL.
 - MATERIAL CLEANED OUT OF DEVICE MUST BE PROPERLY DISPOSED. MATERIAL SUITABLE TO MIX WITH TOPSOIL CAN BE DEPOSITED IN/ON THE SITE'S TOPSOIL STOCKPILES WHICH ARE PROTECTED WITH DOWNSLOPE PERIMETER SEDIMENT BARRIERS. WHEN WASHOUT IS NO LONGER NEEDED THE PLASTIC SHEETING AND USED FILTER SOCK MUST BE TAKEN TO A LANDFILL FOR PROPER DISPOSAL.

CONCRETE WASHOUT

NOT TO SCALE



PROFILE

PLAN VIEW

NSP - NON SPECIAL PROTECTION WATERSHED
SP - SPECIAL PROTECTION WATERSHED

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

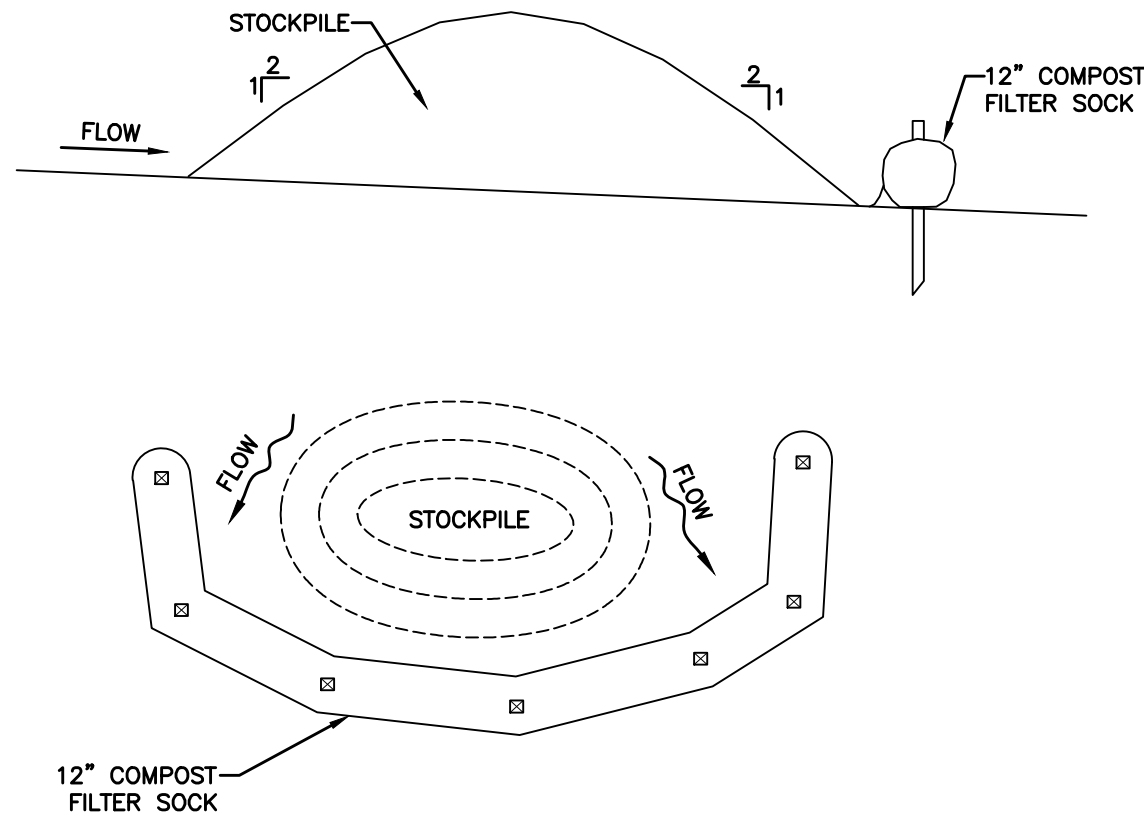
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL

ROCK CONSTRUCTION ENTRANCE (ALTERNATE-ABACT)

NOT TO SCALE

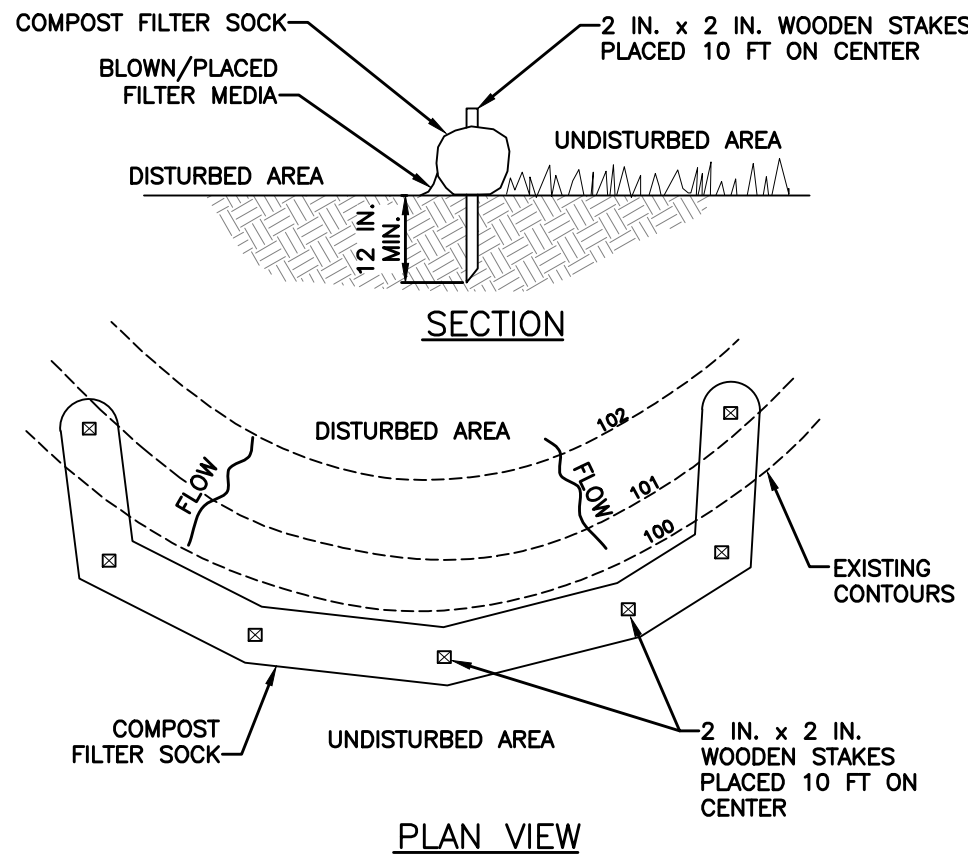


PLAN VIEW

NOTES:

1. APPLY TEMPORARY SEED MIX IF STOCKPILE SITS UNDISTURBED FOR 4 DAYS OR MORE.
2. SEE E&S NOTES FOR MORE STOCKPILE GUIDELINES.

TOPSOIL STOCKPILE



SECTION

PLAN VIEW

NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

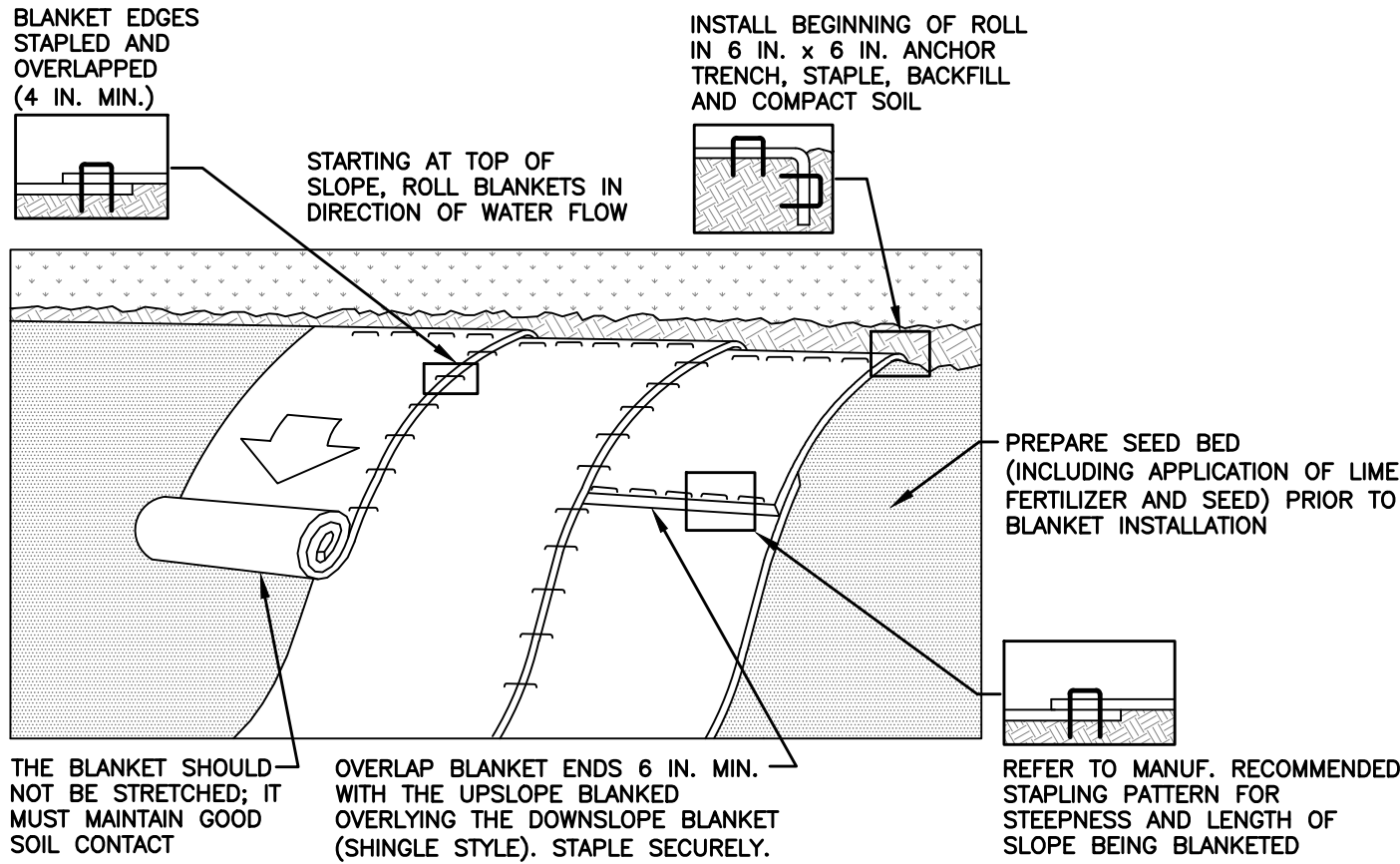
BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1

COMPOST FILTER SOCK

NOT TO SCALE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

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BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1

EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE

- HOP APPLICATION NO. 364731
GENERAL PERMIT NOTES
- THE EXISTING SPEED LIMIT ON S.R.0056 IS 55 M.P.H.
 - THE RIGHT-OF-WAY IS FREE ACCESS.
 - ALL WORK IN PA STATE HIGHWAY RIGHT-OF-WAY IS TO BE PERFORMED CONSISTENT WITH THE FOLLOWING:
 - PENNDOT PUBLICATION 13M, DESIGN MANUAL PART 2 - HIGHWAY DESIGN
 - PENNDOT PUBLICATION 34, APPROVED AGGREGATE PRODUCERS (BULLETIN 14)
 - PENNDOT PUBLICATION 35, APPROVED CONSTRUCTION MATERIALS (BULLETIN 15)
 - PENNDOT PUBLICATION 41, PRODUCERS OF BITUMINOUS MATERIALS (BULLETIN 41)
 - PENNDOT PUBLICATION 42, PRODUCERS OF READY-MIX CONCRETE (BULLETIN 42)
 - PENNDOT PUBLICATION 46, TRAFFIC ENGINEERING MANUAL
 - PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION
 - PENNDOT PUBLICATION 111, PAVEMENT MARKINGS AND SIGNING STANDARDS
 - PENNDOT PUBLICATION 212, OFFICIAL TRAFFIC CONTROL DEVICES
 - PENNDOT PUBLICATION 213, TEMPORARY TRAFFIC CONTROL GUIDELINES
 - PENNDOT PUBLICATION 408, SPECIFICATIONS
 - THE DRIVEWAY HAS BEEN DESIGNED (AND WILL BE CONSTRUCTED AND MAINTAINED) CONSISTENT WITH TITLE 67, CHAPTER 441 REGULATIONS.
 - PA STATE HIGHWAY RIGHT-OF-WAY MAY NOT BE USED FOR PARKING.
 - PERMITTEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED STRUCTURES, FACILITIES AND DRAINAGE.
 - PERMITTEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED SIGNS AND PAVEMENT MARKINGS.
 - CONTACT PENNSYLVANIA ONE-CALL (1-800-242-1776) THREE WORKING DAYS BEFORE EXCAVATION OR DEMOLITION WORK.
 - DRIVEWAY SEG 0444 OFF 359:
 - ANTICIPATED AVERAGE DAILY TRAFFIC (ADT) IS:
 - 61 CARS
 - SINGLE UNIT TRUCKS AND COMBINATIONS.
 - ANTICIPATED AVERAGE DAILY TRAFFIC (ADT) IS:
 - 1 SINGLE UNIT TRUCKS AND COMBINATIONS

- DISTANCE TO THE NEAREST INTERSECTION IS: RT. +1000' LT. +1000'.
- DISTANCE TO THE NEAREST TRAFFIC SIGNAL IS N/A.
- DISTANCE TO THE NEAREST OPPOSITE DRIVEWAY IS: LT. 21'
- DISTANCE TO THE NEAREST ADJACENT DRIVEWAY IS: RT. 27'.
- IF A TRAFFIC SIGNAL IS WITHIN 500 FEET OF THE SITE, CALL THE DISTRICT TRAFFIC ENGINEER AT 814-696-7231 AT LEAST 3 DAYS PRIOR TO THE START OF WORK.
- THIS PERMIT MAY BE RESTRICTED ON WORKING HOURS AND TIMES FOR HOLIDAYS, WEEKENDS, AND SPECIAL OR UNFORESEEN EVENTS AND WILL REQUIRE APPROVAL FROM THE COUNTY OFFICE PRIOR TO WORKING DURING THESE PERIODS.
- THE PERMITTEE'S CONTRACTOR SHALL SAWCUT AND REMOVE SHOULDER MATERIAL AS NECESSARY TO ENSURE THE PAVEMENT REPLACEMENT IS ADJACENT TO THE FULL-DEPTH PAVEMENT OF THE TRAVEL LANE.
- FINAL APPROVAL OF THE PROPOSED SAWCUT LOCATION WILL BE AT THE DISCRETION OF THE INSPECTOR-IN-CHARGE AND BE CONFIRMED AT THE PRE-CONSTRUCTION MEETING IF THE SAWCUT MUST BE LOCATED WITHIN A TRAVEL LANE, IT WILL BE NECESSARY TO MILL AND OVERLAY THE TRAVEL LANE TO PREVENT A JOINT IN A WHEEL PATH.
- THE PROPOSED PAVEMENT SECTION MUST BE AS INDICATED ON THE PLAN, OR MATCH THE EXISTING AS FOUND IN THE FIELD, WHICHEVER IS GREATER.
- PRIOR TO AN OVERLAY, BITUMINOUS OR CONCRETE BASE REPAIR OR JOINT REPLACEMENT MAY BE REQUIRED. REPAIR/REPLACEMENT WILL BE AT THE DISCRETION OF THE INSPECTOR-IN-CHARGE.
- ALL EXISTING PAVEMENT MARKINGS WHICH ARE NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITTEE. THE PERMITTEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS.
- ALL PAVEMENT MARKINGS OTHER THAN LONGITUDINAL LINES TO BE HOT THERMOPLASTIC (PENNDOT PUBLICATION 111, TC-8600).
- MATCH EXISTING PAVEMENT MARKINGS AT THE LIMITS OF WORK.
- MATERIAL CERTIFICATION MUST BE PROVIDED, BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 (BULLETIN 15), FOR ALL MATERIALS AND STRUCTURES WITHIN PENNDOT RIGHT-OF-WAY.
- THE PERMITTEE SHALL CONTACT THE COUNTY MAINTENANCE MANAGER AT THE TIME OF THE GUIDERAIL REMOVAL; ALL EXISTING GUIDERAIL TO BE REMOVED SHALL BE TRANSPORTED TO AND STORED AS PER THE DIRECTION FROM THE COUNTY MAINTENANCE MANAGER OR HIS REPRESENTATIVE.
- ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS, INCLUDING THOSE THAT ARE OUTSIDE OF PENNDOT LEGAL RIGHT-OF-WAY, SHALL BE CONSTRUCTED TO COMPLY WITH THE REQUIREMENTS OF THE U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) OF THE ACCESSIBILITY GUIDELINES OF BUILDINGS AND FACILITIES (ADAAG). PENNDOT DESIGN MANUAL PART 2, CHAPTER 6, AND PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION (PENNDOT PUBLICATION 72M, RC-67M) PROVIDE GUIDANCE ON ADA ACCESSIBLE DESIGN FOR PEDESTRIAN FACILITIES AND CAN BE UTILIZED FOR REFERENCE.
- ALL SLOPE MEASUREMENTS WILL BE INSPECTED/VERIFIED WITH A 2-FOOT SMART LEVEL.
- IT IS THE RESPONSIBILITY OF THE PERMITTEE TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
- MODIFICATIONS TO EXISTING DRAINAGE STRUCTURES MAY RESULT IN THE NEED TO REPLACE THE STRUCTURE. REPLACEMENT WILL BE AT THE DISCRETION OF THE INSPECTOR-IN-CHARGE.
- STRUCTURAL STEEL BICYCLE SAFE GRATES MUST BE PROVIDED FOR ALL INLETS WITHIN THE ROADWAY PAVEMENT OF THOSE THAT MAY RECEIVE BICYCLE TRAFFIC (PENNDOT PUBLICATION 72M, RC-45M).
- THE RESPONSIBILITY FOR ENSURING THAT ALL UTILITY POLES WITHIN THE PROPOSED PAVING ARE RELOCATED OUTSIDE OF PAVED AREAS AND SHOULDERS SHALL BE THAT OF THE PERMITTEE. THE UTILITY POLES MUST BE RELOCATED BEFORE THE START OF ANY PAVING OPERATIONS.
- THE PERMITTEE IS RESPONSIBLE FOR THE COORDINATION OF RELOCATING ANY CONFLICTING UTILITIES WHICH ARE A RESULT OF THESE IMPROVEMENTS.
- ALL UTILITY RELOCATION PERMITS TAKE PRECEDENCE OVER THE UTILITY RELOCATION POSITIONS SHOWN ON THE HOP PLANS.
- THE FOLLOWING UTILITIES ARE ON THE PA ONE CALL WEBSITE AS HAVING FACILITIES IN THE TOWNSHIP OF BRUSH VALLEY, INDIANA COUNTY, PA:
 - HIGHRIDGE WATER AUTHORITY
 - PENELEC

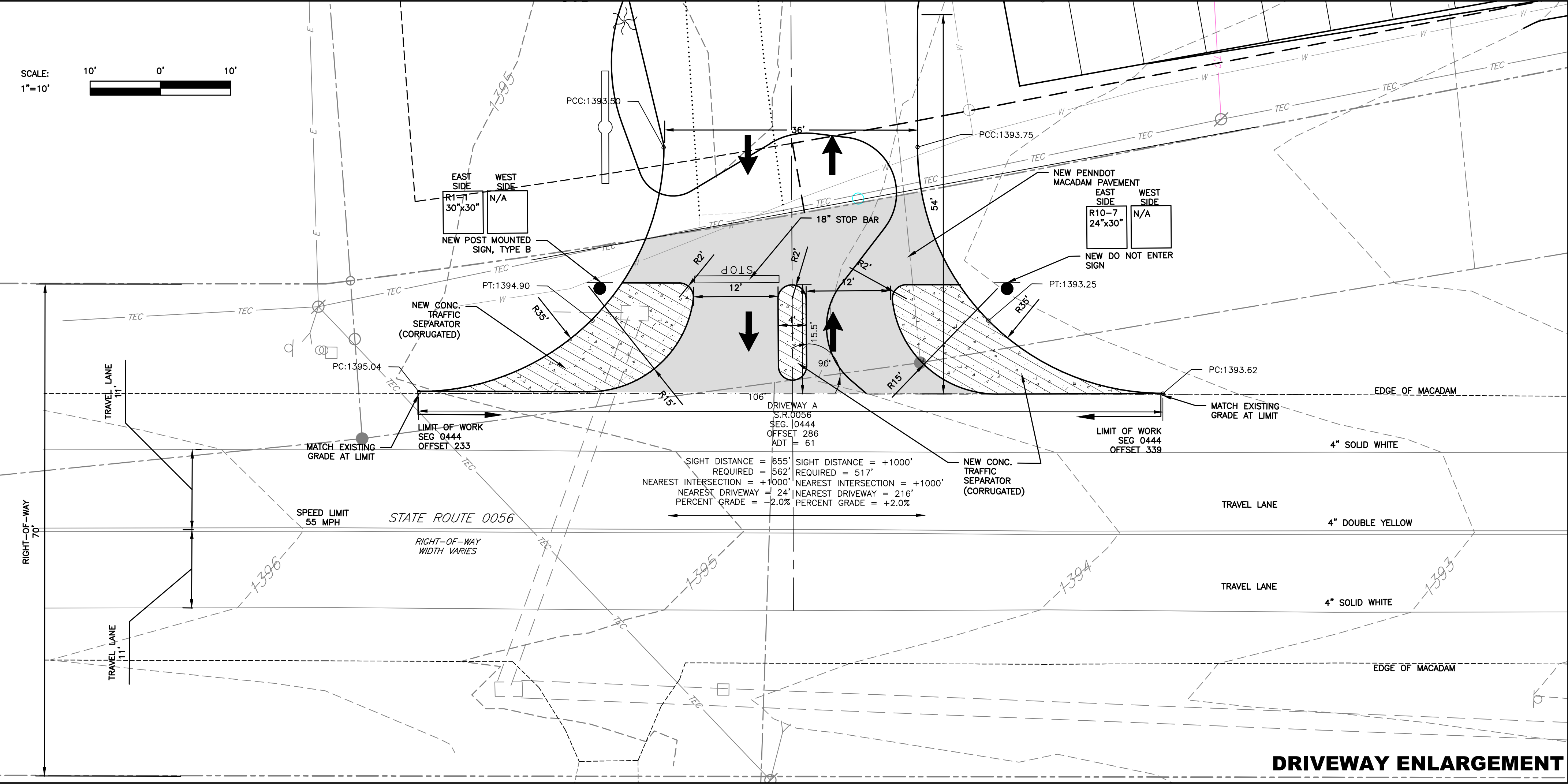
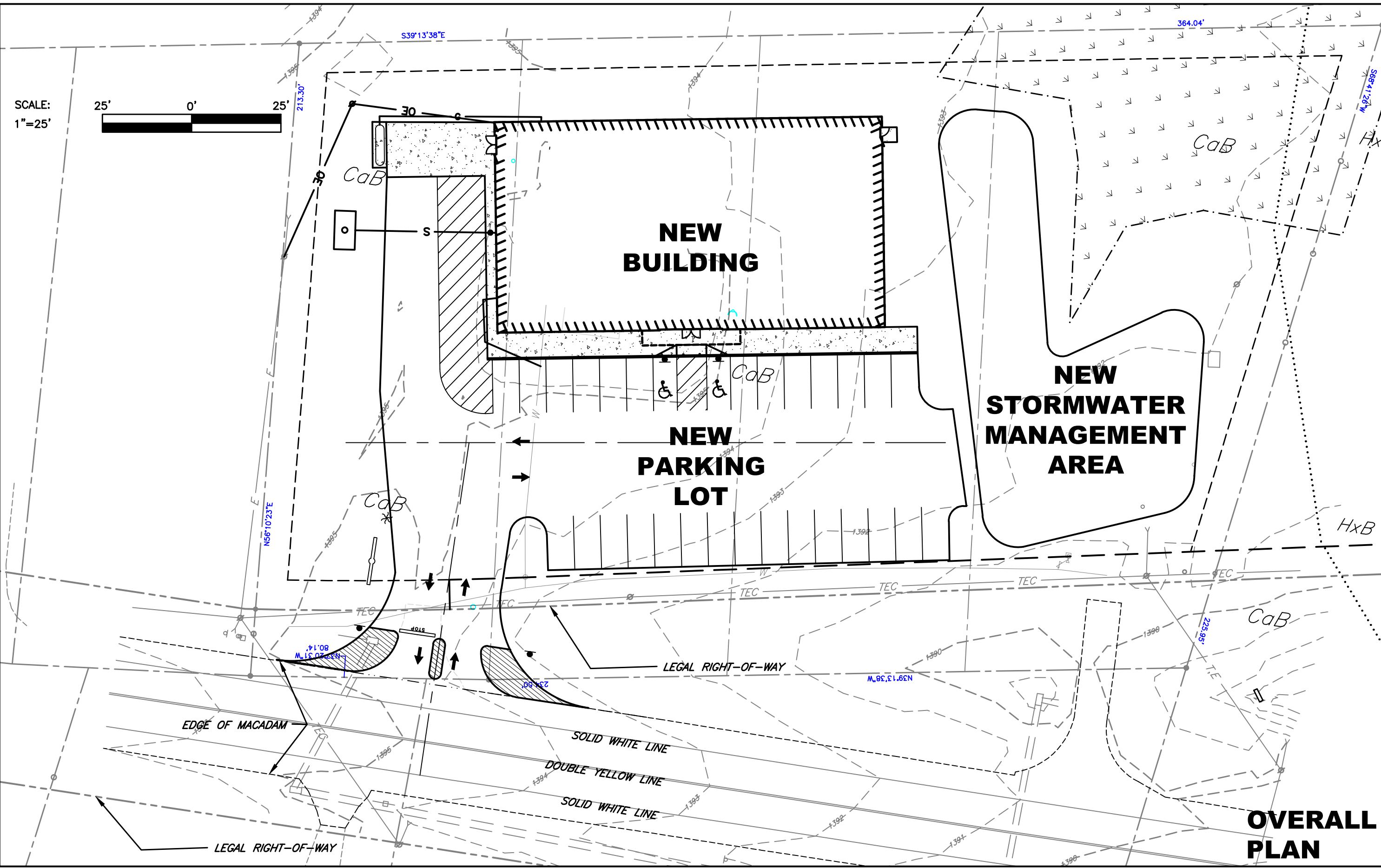
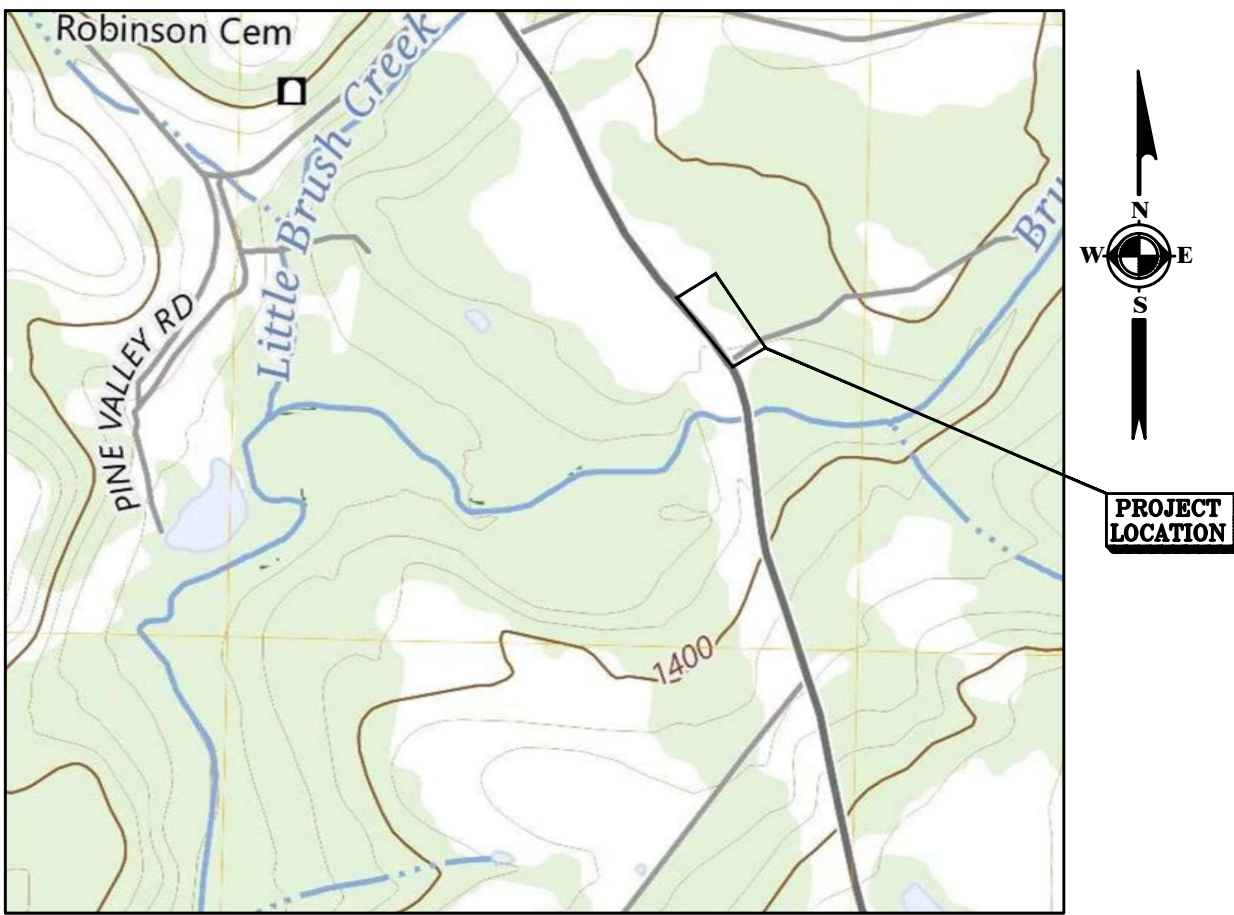
- MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES
- THIS WORK CONSISTS OF THE MAINTENANCE AND PROTECTION OF TRAFFIC AND THE PROTECTION OF THE PUBLIC WHEN APPROACHING AND DEPARTING THE CONSTRUCTION AREA AND WITHIN THE LIMITS OF CONSTRUCTION.
 - FURNISH, ERECT, PLACE AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES. MAINTAIN TRAFFIC DURING HOURS OF CONSTRUCTION AND AT ALL OTHER TIMES CONSISTENT WITH THE METHODS INDICATED ON THESE DRAWINGS AND THE FOLLOWING:
 - PENNDOT PUBLICATION 35;
 - PENNDOT PUBLICATION 46;
 - PENNDOT PUBLICATION 72M;
 - PENNDOT PUBLICATION 111;
 - PENNDOT PUBLICATION 212;
 - PENNDOT PUBLICATION 213;
 - PENNDOT PUBLICATION 236;
 - PENNDOT PUBLICATION 408; AND
 - MUTCD, CURRENT EDITION.
 - REMOVE THESE DEVICES IMMEDIATELY UPON COMPLETION OF THE WORK. PENNDOT WILL REMOVE ANY TRAFFIC CONTROL DEVICES ERECTED BY DEPARTMENT FORCES.
 - PERMITTEE MUST ARRANGE FOR INSPECTION OF ALL TRAFFIC CONTROL DEVICES PRIOR TO START OF WORK.
 - COVER OR REMOVE ALL CONFLICTING SIGNS AND ERADICATE ALL CONFLICTING PAVEMENT MARKINGS.
 - MOUNT ALL LONG-TERM ADVANCE WARNING SIGNS ON TYPE III BARRICADES UNLESS OTHERWISE NOTED OR INSTRUCTED BY DISTRICT OFFICE.
 - ALL SIGNS AND DEVICES TO BE MAINTAINED IN NEW OR LIKE NEW CONDITION.
 - DRIVEWAYS WILL BE KEPT ACCESSIBLE AT ALL TIMES. LOCATE ALL SIGNS SO THAT SIGHT DISTANCES WILL NOT BE OBSTRUCTED AT DRIVEWAYS AND LOCAL ROADS.
 - ALL CHANNELIZING DEVICES, BARRICADES, AND SIGNS SHALL HAVE TYPE III OR BETTER PRISMATIC RETROREFLECTIVE SHEETING. SHEETING SHALL BE APPROVED AND LISTED IN PENNDOT PUBLICATION 35 (BULLETIN 15).
 - NO TRAFFIC RESTRICTIONS OR LANE CLOSURES ARE PERMITTED BETWEEN 6:00 AM AND 9:00 AM AND BETWEEN 3:00 PM AND 6:00 PM MONDAYS THROUGH FRIDAYS OR ON LEGAL HOLIDAYS AND WEEKENDS ASSOCIATED WITH LEGAL HOLIDAYS. ALL RESTRICTIONS AND CLOSURES ARE TO BE REMOVED BY NOON ON THE DAY PRIOR TO THE LEGAL HOLIDAY.
 - PERMITTEE SHALL NOTIFY LOCAL EMERGENCY AUTHORITIES (E.G., POLICE, FIRE, MEDICAL), AFFECTED BUSINESSES, SCHOOL DISTRICT(S), THE GENERAL PUBLIC, THE DISTRICT PERMIT MANAGER AND THE DISTRICT APRAS COORDINATOR AT LEAST FOURTEEN DAYS PRIOR TO ANY SIGNIFICANT TRAFFIC IMPACTS (E.G., LATERAL WIDTH RESTRICTIONS LESS THAN 16 FEET, DETOURS).
 - MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE PATA DRAWING (S) IN THE CURRENT PENNDOT PUBLICATION 213, 'TEMPORARY TRAFFIC CONTROL GUIDELINES'.
 - DROPOFFS CREATED BY CONSTRUCTION OPERATIONS SHALL BE TREATED CONSISTENT WITH PUBLICATION 408, SECTION 901.3(i).
 - REMOVE ALL SHORT-TERM WORK ZONE TRAFFIC CONTROL SIGNING UPON COMPLETION OF THAT DAY'S WORK PERIOD.
 - RESTRICTING TRAFFIC FLOW WITHIN THE WORK AREA SHALL BE MINIMIZED TO PREVENT TRAFFIC CONGESTION AND UNSAFE TRAFFIC CONDITIONS.
 - NOTIFY THE LOCAL MUNICIPALITY WHERE SIGNALIZED INTERSECTIONS FALL WITHIN THE WORK ZONE. DO NOT

- FLAG A SIGNALIZED INTERSECTION WITHOUT THE MUNICIPALITY PLACING THE SIGNAL ON FLASH.
- THE CONTRACTOR SHALL COMPLY WITH ACT 229 OF DECEMBER 2002 DURING CONSTRUCTION ACTIVITIES WITHIN PENNDOT'S RIGHT-OF-WAY.
 - WORK WITHIN THE STATE RIGHT-OF-WAY WILL NOT BE PERMITTED DURING ALL STATE AND NATIONAL HOLIDAYS OR SPECIAL EVENTS. CONTRACTORS ARE REQUIRED TO BE OFF THE ROADWAY BY NOON ON THE BUSINESS DAY PRIOR TO THE HOLIDAY/SPECIAL EVENT. EQUIPMENT AND/OR MATERIALS ARE NOT PERMITTED WITHIN THE DEPARTMENT RIGHT-OF-WAY OR THE CLEAR ZONE DURING THIS TIME. WORK MAY RESUME AFTER THE HOLIDAY/SPECIAL EVENT (NORMAL WORKING HOURS) UNLESS DIRECTED DIFFERENTLY BY A DEPARTMENT REPRESENTATIVE. CONTRACTOR MUST PROVIDE A WORK SCHEDULE TO THE COUNTY INSPECTOR IN CHARGE FOR ANY WORK DONE BETWEEN THANKSGIVING AND NEW YEARS DAY FOR APPROVAL.
 - PERMITTEE OR PERMITTEES REPRESENTATIVE MUST NOTIFY THE TRAFFIC MANAGEMENT CENTER (TMC) AT 814-693-5915 FOR ANY CONSTRUCTION ROADWORK OR MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) WHICH CREATES: A LANE CLOSURE, LANE RESTRICTION, SHOULDER CLOSURE, TRAFFIC DISRUPTION, RAMP CLOSURE, OR RAMP RESTRICTION. NOTIFICATION REQUIREMENTS BY THE PERMITTEE / PERMITTEES REPRESENTATIVE TO THE TMC MUST OCCUR AT THE FOLLOWING INTERVALS: TWO DAYS IN ADVANCE, FIFTEEN MINUTES IN ADVANCE, AND WITHIN FIFTEEN MINUTES OF COMPLETION. PERMITTEE OR PERMITTEES REPRESENTATIVE WILL BE REQUIRED TO PROVIDE THE HIGHWAY OCCUPANCY PERMIT (HOP) NUMBER TO THE TMC OPERATOR.
 - CONTRACTOR MUST COORDINATE WORK AND MPT ADVANCE WARNING SIGNS WITH ALL OTHER PROJECTS IN THE AREA.

TRAFFIC CONTROL SEQUENCE

- USING SHORT TERM TRAFFIC CONTROL PATA DIAGRAMS AS NEEDED, CONSTRUCT PROPOSED DRIVEWAYS AND INSTALL PROPOSED SIGNS.
- DURING NON WORK HOURS ALL DROP-OFF CONDITIONS WILL BE PROTECTED IN ACCORDANCE WITH PUBLICATION 408.
- UPON COMPLETION, REMOVE ALL TRAFFIC CONTROL SIGNING AND OPEN ROADWAY TO NORMAL TRAFFIC PATTERNS.

LOCATION MAP



420 Allegheny Street
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NO.	DATE	REVISION	DESCRIPTION
02	12/25/25	BSP	REVISION DESCRIPTION
01	02/13/25	DATE & INITIALS	REVISION DESCRIPTION

HOP PLAN

HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY, PENNSYLVANIA

PROJECT NO.: 4530-5
FILE NAME: PLOT000000
DATE: 11/13/25
DESIGNED BY: BSG
DRAWN BY: BSG
CHECKED BY: ---

HOP1

KELLER ENGINEERS, INC.
1111 MARKET STREET, SUITE 200
HOMER CITY, PA 16648
TEL: (814) 696-7430
FAX: (814) 696-7431
WWW.KELLER-ENGINEERS.COM

MAKING ANY CHANGES TO THESE PLANS WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KELLER ENGINEERS, INC.

DATA GENERAL NOTES:

SECTION A: WORKSITE PROCEDURES

A-1. PENNDOT TMC NOTIFICATION MAY BE REQUIRED PRIOR TO ESTABLISHING TTC RESTRICTIONS ON STATE OWNED HIGHWAYS. NOTIFICATIONS ARE THE PENNDOT TMC IN MAINTAINING SITUATIONAL AWARENESS OF CURRENT TRAFFIC RESTRICTIONS. THE FOLLOWING CHART INDICATES WHEN NOTIFICATION IS REQUIRED BASED ON ROADWAY TYPE AND TTC CONDITION:

	PENNDOT TMC NOTIFICATION			
	TEMPORARY TRAFFIC CONTROL CONDITION			
	FULL ROAD CLOSURE	LANE RESTRICTION >30 MINUTES	LANE RESTRICTION <30 MINUTES	SHOULDER CLOSURE >15 MINUTES
FREEWAYS & EXPRESSWAYS	REQUIRED			
NUMBERED TRAFFIC ROUTES & PRE-PLANNED DETOUR	REQUIRED		OPTIONAL	
OTHER STATE ROADWAYS	REQUIRED		OPTIONAL	

PERSONNEL RESPONSIBLE FOR TTC AT THE WORK SITE SHALL CONTACT THE APPROPRIATE PENNDOT TMC PRIOR TO PLACING TTC DEVICES ON THE ROADWAY OR BEGINNING WORK FOR ALL "REQUIRED" CONDITIONS.

THE FOLLOWING PAGE CONTAINS PENNDOT CONTACT INFORMATION AND A STATEWIDE MAP SHOWING:

- PENNDOT RTMC REGIONS AND RTMC LOCATIONS.
- PENNDOT ENGINEERING DISTRICT BOUNDARIES.

IMPLEMENTATION OF AN RCRS MOBILE APPLICATION WILL PROVIDE USERS WITH THE ABILITY TO SUBMIT INFORMATION ABOUT TTC RESTRICTIONS AND CONDITIONS REMOTELY. UNTIL THE APPLICATION IS ACTIVE, ADVANCE NOTIFICATION SHOULD BE PROVIDED TO THE TMC. TIME REPORTING REQUIREMENTS VARY DEPENDING UPON WHETHER THE EVENT IS PLANNED OR UNPLANNED:

- PLANNED ROADWORK OR EVENTS – NOTIFY THE TMC IN WRITING USING FORM TMC-100, LOCATED IN APPENDIX E, AT LEAST 10 DAYS IN ADVANCE OF THE SCHEDULED ROADWORK OR EVENT. THIS ALLOWS TMC STAFF TIME TO CREATE A PLANNED EVENT IN RCRS UPDATE THE TMC OF CHANGES AS THEY OCCUR. THE EVENT MUST BE ACTIVATED BY CALLING THE TMC (UNTIL AN RCRS MOBILE APP IS DEVELOPED) AT LEAST 15 MINUTES PRIOR TO BEGINNING WORK OR SETTING UP TTC DEVICES.
- UNPLANNED EVENTS – NOTIFY THE TMC IN WRITING AS SOON AS IT IS DETERMINED THAT THE ROADWORK OR EVENT WILL OCCUPY THE ROADWAY, BUT AT LEAST 15 MINUTES PRIOR TO BEGINNING WORK OR PLACING TTC DEVICES.

CALL THE APPROPRIATE PENNDOT TMC IMMEDIATELY AFTER TTC CONDITIONS HAVE ENDED OR UPDATE RCRS REMOTELY.

**TTC CONDITIONS ON THE PENNSYLVANIA TURNPIKE ARE MAINTAINED BY THE PTC OPERATIONS CENTER. DO NOT CALL THE PENNDOT TMC REGARDING TTC ON THE PA TURNPIKE UNLESS CONDITIONS IMPACT A STATE OWNED HIGHWAY.

ROADWORK ON THE PA TURNPIKE SHOULD BE REPORTED TO THE TURNPIKE OPERATIONS CENTER (717) 939-9551, EXTENSION 4644.

PENNDOT TRAFFIC MANAGEMENT CENTER REGIONS, REGIONAL HEADQUARTERS, AND HOURS OF OPERATION									
1	WESTERN	Rd-pdd1traffmctm@pa.gov	(814)673-9661	NOVEMBER 01 TO APRIL 01	EVERYDAY	24 HOURS	11		
2	CENTRAL	Pd-diat2-ORTMC@pa.gov	(814)768-0725	YEAR-ROUND	EVERYDAY	24 HOURS	--		
3	CENTRAL	Pd-diat2-ORTMC@pa.gov	(814)768-0725	YEAR-ROUND	EVERYDAY	24 HOURS	--		
4	EASTERN	Rd-pddiat-4OTMC@pa.gov	(570)963-4058	YEAR-ROUND	MONDAY – FRIDAY	7:00 AM – 6:00 PM	8		
5	EASTERN	Pd-district5-OTOC@pa.gov	(610)871-4600	YEAR-ROUND	MONDAY – FRIDAY	6:00 AM – 8:00 PM	8		
6	SOUTHEASTERN	Pd-district6-ORTMC@pa.gov	(610)205-6934	YEAR-ROUND	EVERYDAY	24 HOURS	--		
8	EASTERN	Pd-district8-OTMC@pa.gov	(717)265-7800	YEAR-ROUND	EVERYDAY	24 HOURS	--		
9	CENTRAL	Pd-diat2-ORTMC@pa.gov	(814)768-0725	YEAR-ROUND	EVERYDAY	24 HOURS	--		
10	WESTERN	Pd-district11RTMC@pa.gov	(412)429-6030	YEAR-ROUND	EVERYDAY	24 HOURS	--		
11	WESTERN	Pd-district11RTMC@pa.gov	(412)429-6030	YEAR-ROUND	EVERYDAY	24 HOURS	--		
12	WESTERN	Pd-district11RTMC@pa.gov	(412)429-6030	YEAR-ROUND	EVERYDAY	24 HOURS	--		

A-2. TTC DISTANCES ARE ESTABLISHED AS FOLLOWS:

ITEM	DISTANCE OR VARIABLE	NOTE
SIGN SPACING (RANGE)	A, B, C, D	DISTANCE BETWEEN TTC SIGNS SHOULD BE WITHIN THE RANGES SHOWN ON THE SPACING CHARTS, BUT MAY BE EXTENDED WITH JUSTIFICATION
SIGN LEGIBILITY DISTANCE	SPEED (MPH)	TTC SIGNS SHALL BE ENTIRELY VISIBLE TO MOTORISTS FOR THE MINIMUM DISTANCE SHOWN. THE DISTANCE SHOWN IS BASED ON THE PERCEPTION / REACTION DISTANCE OF THE STOPPING SIGHT DISTANCE.
	25	
	30	
	35	
	40	
	45	
	50	
	55	
	60	
	65	
CHANNELIZING DEVICE SPACING WITHIN TAPERS	S	DISTANCE S = REGULATORY SPEED LIMIT (IN FEET). THIS IS A MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES.
CHANNELIZING DEVICE SPACING ALONG LONGITUDINAL LINES	2S	DISTANCE 2S = DOUBLE THE REGULATORY SPEED LIMIT (IN FEET). THIS IS A MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES.
FLAGGER STATIONS (STATIONARY OPERATION)	25'-100'	FLAGGERS SHALL STAND AT LEAST 25', BUT NO MORE THAN 100', FROM THE NEAREST CHANNELIZING DEVICE PLACED WITHIN A TAPER.
FLAGGER VISIBILITY	E MINIMUM	FLAGGERS SHALL BE VISIBLE TO APPROACHING TRAFFIC FOR DISTANCE E MINIMUM.
BUFFER SPACE	E	BUFFER SPACE SHOULD BE MAINTAINED AS SHOWN, BUT LENGTH MAY BE EXTENDED WITH JUSTIFICATION.
ROLL AHEAD SPACE	H	ROLL AHEAD SPACE SHALL BE MAINTAINED.
DISTANCE BETWEEN SHADOW VEHICLES	VARIES	SHADOW VEHICLE SPACING MAY VARY DEPENDING ON THE OPERATION.
TAPER LENGTHS	L 1/2L 1/3L 50' PER LANE	TAPER LENGTHS SHALL BE MAINTAINED.
WORK SPACE	VARIES	WORK SPACE LENGTH VARIES DEPENDING ON FIELD CONDITIONS.

A-3. THE NEEDS AND CONTROL OF ALL ROAD USERS (MOTORISTS, BICYCLISTS, AND PEDESTRIANS, INCLUDING PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990) THROUGH A TTC ZONE SHALL BE AN ESSENTIAL PART OF HIGHWAY CONSTRUCTION, MAINTENANCE OPERATIONS, UTILITY WORK, AND THE MANAGEMENT OF TRAFFIC INCIDENTS.

A-4. DO NOT PERFORM WORK OVER LANES OPEN TO LIVE TRAFFIC UNLESS AUTHORIZED BY THE PENNDOT DTE. WORK TAKING PLACE ON MAINTENANCE PLATFORMS, OATWALKS, OPEN BOOM TRUCKS, ETC., REQUIRES CLOSURE OF THE LANE(S) IMMEDIATELY BELOW. THIS RESTRICTION DOES NOT APPLY TO WORK WITHIN AN ENCLOSED ENVIRONMENT (E.G. INSIDE A WALK-IN PERMANENT DYNAMIC MESSAGE SIGN).

A-5. ALL DETOUR ROUTES INVOLVING STATE-DESIGNATED HIGHWAYS SHALL BE APPROVED BY THE APPROPRIATE PENNDOT DETE PRIOR TO BEING POSTED. DETOURS INVOLVING LOCAL HIGHWAYS SHOULD BE APPROVED BY LOCAL AUTHORITIES PRIOR TO BEING POSTED. ALL NECESSARY SIGNS SHALL BE IN PLACE BEFORE ANY DETOUR ROUTE IS OPENED TO TRAFFIC.

A-6. PAVEMENT MARKINGS (LANE LINE AND/OR CENTER LINE), OF MORE THAN 250 LINEAR FEET ON A HIGHWAY, THAT ARE COVERED OR DESTROYED BY CONSTRUCTION, MAINTENANCE, UTILITY, PERMIT, OR OTHER WORK MUST BE REPLACED BEFORE TERMINATING WORK EACH DAY. THE REPLACEMENT MARKINGS MAY BE STANDARD PAVEMENT MARKINGS OR TEMPORARY MARKINGS AS INCLUDED IN PENNDOT PUBLICATION 408, SECTION 901.3(K) OR IN THE MUTCD, SECTION 6F.78.

A-7. WORKERS ENGAGED IN OR ENTERING INTO ANY FIELD OPERATION ARE REQUIRED TO WEAR HARD HATS MEETING ANSI TYPE I REQUIREMENTS AND HIGH-VISIBILITY VESTS, T-SHIRTS, OR SWEATSHIRTS WHICH MEET THE ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS. A RAINCOAT OR JACKET WHICH MEETS ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS MAY BE WORN DURING INCLEMENT WEATHER. FURTHERMORE:

- ALL VISITORS AND OTHERS PRESENT ON A WORK SITE IN AN OFFICIAL CAPACITY MUST COMPLY WITH THE REQUIREMENTS.
- PENNDOT EMPLOYEES SHALL REFER TO PUBLICATION 445, SAFETY POLICY HANDBOOK, AND ANY APPLICABLE PENNDOT MEMORANDA REGARDING PERSONAL PROTECTIVE EQUIPMENT (PPE) AND WORK ATTIRE.
- EMERGENCY, INCIDENT RESPONSE, AND LAW ENFORCEMENT PERSONNEL WITHIN TTC ZONES SHOULD WEAR HIGH-VISIBILITY PUBLIC SAFETY VESTS THAT MEET THE PERFORMANCE REQUIREMENTS OF THE ANSI/ISEA 207-2011 (REFER TO MUTCD, SECTION 1A.11).

A-8. WORK VEHICLES AND SHADOW VEHICLES ARE AUTHORIZED VEHICLES AS DEFINED IN TITLE 75, SECTION 102. AUTHORIZED VEHICLES ARE APPROVED TO BE EQUIPPED WITH YELLOW OR AMBER FLASHING, OSCILLATING, OR REVOLVING LIGHTS WHICH ARE VISIBLE FROM ANY DIRECTION (360° VISIBILITY). OTHER COLORS SUCH AS WHITE, CLEAR, RED, OR BLUE SHALL NOT BE USED ON AUTHORIZED VEHICLES. THE INSTALLATION OR USE OF ADDITIONAL OR EXISTING MODULAR LIGHTING MODULES/ASSEMBLIES ON THE SURFACE OF THE BARRIER OR SHIELDING SHALL BE PROHIBITED. THE FOLLOWING ARE THE REQUIREMENTS FOR THE INSTALLATION OF FLASHING LIGHTS (E.G. STROBE LIGHTS) ON EXISTING MODULAR LIGHTING MODULES/ASSEMBLIES (I.E. HEADLIGHTS, PARKING LIGHTS, TAILLIGHTS) IS PROHIBITED. REFER TO THE PENNSYLVANIA CODE, CHAPTER 173 FOR MORE INFORMATION.

A-9. PARKING MAY BE PROHIBITED ALONG CONVENTIONAL HIGHWAYS IN CONJUNCTION WITH TTC CONDITIONS. COORDINATE WITH LOCAL AUTHORITIES TO REQUEST TEMPORARY PARKING NOTIFICATION SIGNING AND ENFORCEMENT.

A-10. DURING CONSTRUCTION PROJECTS, EXISTING TRAFFIC SIGNALS WITHIN THE TTC ZONE AND ALONG DETOUR ROUTES MAY REQUIRE TIMING AND/OR PHASING MODIFICATIONS TO ACCOMMODATE TEMPORARY TRAFFIC PATTERNS. THE PRIMARY CONTRACTOR IS RESPONSIBLE TO SUBMIT A LETTER TO THE PENNDOT DTE TO EITHER CONFIRM THAT EXISTING TRAFFIC SIGNAL TIMING IS ADEQUATE TO CONTROL TEMPORARY TRAFFIC PATTERNS WITHOUT A SIGNIFICANT DECREASE IN THE LEVEL OF SERVICE, OR THAT TRAFFIC SIGNAL TIMINGS WILL REQUIRE MODIFICATION TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE. THIS LETTER SHALL BE PROVIDED PRIOR TO PLACING TTC DEVICES. THE PENNDOT DTE MAY REQUEST A COPY OF THE CAPACITY ANALYSIS REPORT. THE CONTRACTOR IS REQUIRED TO ABIDE BY THE TEMPORARY SIGNAL PERMIT PROCESS PRIOR TO BEGINNING WORK IF SIGNAL MODIFICATIONS ARE RECOMMENDED BY THE PENNDOT DTU. REFER TO PUBLICATION 46, CHAPTER 12 AND PUBLICATION 149, CHAPTER 14.

A-11. WHEN TEMPORARY CONDITIONS WILL RESTRICT OR PROHIBIT TURNING MOVEMENTS AT SIGNALIZED INTERSECTIONS AND THE CONDITION IS EXPECTED TO BE IN PLACE FOR MORE THAN 30 CONSECUTIVE DAYS, THE PENNDOT DTE SHOULD REVIEW THE TRAFFIC SIGNAL PHASING AND TIMING PLAN TO DETERMINE WHETHER AN ALTERNATE PHASING AND TIMING PLAN SHOULD BE USED TO ADDRESS THE TEMPORARY CONDITION. THE ENTITY RESPONSIBLE FOR THE TEMPORARY CONDITION SHALL COMPLY WITH PENNDOT DTU GUIDANCE.

A-12. MOBILE OPERATIONS THAT OCCUPY THE ROADWAY, SHOULDER, OR BERM SHALL PROCEED IN THE DIRECTION OF NORMAL TRAFFIC FLOW.

A-13. TEMPORARY PAVEMENT MARKINGS ARE REQUIRED FOR LONG-TERM OPERATIONS EXCEPT WHERE CHANNELIZING DEVICES ARE PLACED IN ACCORDANCE WITH GENERAL NOTE C-7. IF TEMPORARY EDGE LINES WILL BE APPLIED TO TEMPORARY CONCRETE BARRIER, THE LOWER SLOPING SURFACE OF THE BARRIER SHALL BE THOROUGHLY CLEANED BY HIGH-PRESSURE WATER BLASTING BEFORE APPLYING PAVEMENT MARKING PAINT OR PAVEMENT MARKING TAPE. REFER TO PENNDOT PUBLICATION 46, SECTION 6.7.

A-14. BRIDGE INSPECTION TEAMS WORKING ON FREEWAYS AND EXPRESSWAYS SHALL UTILIZE TWO SHADOW VEHICLES TO PROTECT WORKERS AND WORK VEHICLES. A DISTANCE OF AT LEAST 1000' SHOULD BE MAINTAINED BETWEEN SHADOW VEHICLES WHILE REMAINING ON THE SAME SIDE OF THE ROADWAY AS THE INSPECTION TEAM.

A-15. SHADOW VEHICLES MAY BE USED IN EMERGENCY SITUATIONS TO PROTECT CONCRETE BARRIER BLUNT ENDS. PENNDOT DTE APPROVAL IS REQUIRED IF THE SHADOW VEHICLE WILL REMAIN IN PLACE FOR MORE THAN THREE DAYS.

A-16. FLARES (INCENDIARY OR ELECTRONIC) MAY BE PLACED ON THE SHOULDER WITHIN THE ADVANCE WARNING AREA OF A TTC ZONE TO PROVIDE ADDITIONAL CONSPICUITY DUE TO ADVERSE WEATHER, ROADWAY GEOMETRY, ETC. FLARES MAY ONLY BE USED WHILE WORK IS IN ACTIVE PROGRESS. DEBRIS FROM INCENDIARY DEVICES SHALL BE REMOVED UPON WORK COMPLETION. EXCEPT FOR EMERGENCY CONDITIONS OR POLICE ACTIVITY, FLARES SHALL NOT BE PLACED ON THE ROADWAY OR WITHIN THE ACTIVITY AREA.

A-17. ALL TTC DEVICES ERECTED FOR MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE REMOVED AS SOON AS PRACTICAL WHEN THEY ARE NO LONGER NEEDED. WHEN WORK IS SUSPENDED FOR SHORT PERIODS OF TIME, TTC DEVICES ERECTED FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE REMOVED OR COVERED WHEN THEY ARE NO LONGER APPROPRIATE.

A-18. TO THE EXTENT PRACTICABLE, THE LENGTH OF WORK ZONES SHALL BE APPROPRIATE TO THE WORK IN PROGRESS SO THAT MOTORISTS DO NOT INCREASE SPEED AFTER PASSING THROUGH A LONG STRETCH WITH NO SIGN OF WORK ACTIVITY. LANE RESTRICTIONS SHALL BE MINIMIZED TO PREVENT TRAFFIC CONGESTION AND UNSAFE TRAFFIC CONDITIONS.

A-19. ARROW BOARDS ARE OPTIONAL FOR USE ON SHADOW VEHICLES AND WORK VEHICLES. THE PATA/GA DRAWINGS INDICATE THE PROPER DISPLAY MODE (MERGE OR CAUTION).

SECTION B: FLAGGING OPERATIONS

B-1. ALL FLAGGERS SHALL BE TRAINED AS PER PENNDOT PUBLICATION 408, SECTION 901.3(Y). BECAUSE FLAGGERS ARE RESPONSIBLE FOR PUBLIC SAFETY AND MAINTAIN THE GREATEST CONTACT WITH THE PUBLIC, IT IS ESSENTIAL TO PRACTICE SAFE TRAFFIC CONTROL AND PUBLIC CONTACT TECHNIQUES. FLAGGERS MUST DEMONSTRATE THE FOLLOWING ABILITIES:

- RECEIVE AND COMMUNICATE SPECIFIC INSTRUCTIONS CLEARLY, FIRMLY, AND COURTEOUSLY.
- MOVE AND MANUEVER QUICKLY IN ORDER TO AVOID DANGER FROM GRANT VEHICLES.
- CONTROL SIGNALING DEVICES IN ORDER TO PROVIDE CLEAR AND POSITIVE GUIDANCE.
- MAINTAIN SITUATIONAL AWARENESS, PROTECT THE WORK CREW, AND PROVIDE DIRECTION TO THE TRAVELING PUBLIC.

B-2. FLAGGERS MUST BE AWARE OF THEIR PUBLIC IMAGE AT ALL TIMES. UNPROFESSIONAL BEHAVIOR, SUCH AS UTILIZING ELECTRONIC DEVICES FOR PERSONAL USE, IS PROHIBITED WHILE PERFORMING FLAGGING DUTIES. FLAGGERS SHALL NOT PERFORM WORK UNRELATED TO TRAFFIC CONTROL OR PERFORM DUTIES WHILE SITTING IN OR STANDING NEAR A VEHICLE.

B-4. UPSTREAM AND DOWNSTREAM FLAGGER STATIONS ARE SHOWN ON PATA AND GA DRAWINGS. ADDITIONAL FLAGGERS MAY BE REQUIRED TO CONTROL TRAFFIC AT SIDE ROADS AND DRIVEWAYS.

B-5. FLAGGERS MUST BE IN COMMUNICATION WITH EACH OTHER. COMMUNICATION METHODS MAY INCLUDE TWO-WAY RADIOS, HAND SIGNALS, A PILOT VEHICLE DRIVER, ETC.

B-6. FLAGGER STATIONS SHALL BE ILLUMINATED AT NIGHT. INSTALL TEMPORARY LIGHTING TO ADEQUATELY ILLUMINATE FLAGGER STATIONS WITHOUT CREATING A GLARE THAT IS HAZARDOUS TO ROAD USERS. PERMANENT LIGHT SOURCES THAT MAY EXIST IN THE TTC AREA, SUCH AS ROADWAY LUMINAIRES, ARE NOT SUFFICIENT TO FULFILL THIS REQUIREMENT.

B-7. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, OR IT IS ANTICIPATED THAT QUEUES RESULTING FROM THE LANE CLOSURE WILL CAUSE TRAFFIC TO CROSS A HIGHWAY-RAIL GRADE CROSSING, PROVISIONS SHALL BE MADE TO ELIMINATE CONFLICTS, WHICH MAY REQUIRE PLACING A FLAGGER AT THE CROSSING. COORDINATION WITH THE RAILROAD IS REQUIRED.

B-8. FLAGGERS SHALL USE A STOP/SLOW PADDLE, A RED FLAG, OR AN AFAD TO CONTROL ROAD USERS APPROACHING A TTC ZONE. THE USE OF HAND MOVEMENTS ALONE WITHOUT A PADDLE, FLAG, OR AFAD TO CONTROL TRAFFIC IS PROHIBITED EXCEPT FOR LAW ENFORCEMENT PERSONNEL OR EMERGENCY RESPONDERS AT INCIDENT SCENES AS DESCRIBED IN MUTCD, SECTION 6I-01.

B-9. THE STOP/SLOW PADDLE:

- SHALL BE USED TO CONTROL TRAFFIC APPROACHING FROM A SINGLE DIRECTION.
- SHALL BE HELD BY HAND AND UNDER CONTROL AT ALL TIMES. TRAFFIC CONES, CARTS, ETC. SHALL NOT BE USED TO HOLD THE DEVICE.
- SHALL DISPLAY AN 18" MINIMUM STOP SIGN ON ONE END AND A RED FLASHING SLOW SIGN ON THE OPPOSITE FACE.
- SIGN FACES SHALL HAVE SHEETING OF AN APPROVED TYPE AND LISTED IN PENNDOT PUBLICATION 35 (BULLETIN 15).
- SHALL BE ATTACHED TO THE END OF THE PADDLE WITH A LENGTH OF 72".
- MAY INCORPORATE EITHER WHITE OR RED FLASHING LIGHTS ON THE STOP FACE AND EITHER WHITE OR YELLOW FLASHING LIGHTS ON THE SLOW FACE (REFER TO MUTCD, SECTION 6E.03).

B-10. THE RED FLAG:

- SHALL BE USED BY A FLAGGER STATIONED WITHIN AN INTERSECTION CONTROLLING TRAFFIC FROM MULTIPLE DIRECTIONS.
- SHALL BE RED OR FLUORESCENT ORANGE/RED IN COLOR (STANDARD ORANGE FLAGS COMMONLY USED ON TTC SIGNS ARE UNACCEPTABLE FOR CONTROLLING TRAFFIC).
- SHALL BE A MINIMUM SIZE OF 24" SQUARE AND SECURELY FASTENED TO A STAFF APPROXIMATELY 36" IN LENGTH.
- SHALL BE RETROREFLECTIVE WHEN USED DURING NIGHT OPERATIONS.

B-11. FLAGGERS SHALL NOT CONTROL TRAFFIC FROM WITHIN A SIGNALIZED INTERSECTION WHILE THE TRAFFIC SIGNAL IS FUNCTIONING IN AUTOMATIC MODE (CYCLING GREEN-YELLOW-RED). TRAFFIC SIGNALS SHALL BE CHANGED TO FLASHING MODE WHILE A FLAGGER IS STATIONED WITHIN THE SIGNALIZED INTERSECTION. MOST TRAFFIC SIGNALS HAVE A MANUAL MODE WHICH CAN BE OPERATED FROM THE ROADSIDE. HOWEVER PERMISSION MUST BE RECEIVED FROM THE SIGNAL PERMITTEE. SIGNALS SHALL RESUME AUTOMATIC OPERATION IMMEDIATELY UPON CONCLUSION OF MANUAL FLAGGING. ASSISTANCE FROM THE PENNDOT DTU OR LOCAL OFFICIALS IS REQUIRED TO CHANGE TRAFFIC SIGNAL OPERATION MODES.

B-12. FLAGGERS USED DURING MOBILE OPERATIONS SHOULD PROCEED THROUGH SIGNALIZED INTERSECTIONS IN COMPLIANCE WITH TRAFFIC SIGNALS.

B-13. FLAGGERS CONTROLLING TRAFFIC APPROACHING FROM A SINGLE DIRECTION SHOULD STAND ON THE SHOULDER OR IN THE CLOSED LANE PRIOR TO STOPPING TRAFFIC. A FLAGGER MAY STAND IN THE OPEN LANE AFTER TRAFFIC HAS STOPPED.

B-14. A RED WAND (FLASHLIGHT) MAY BE USED TO SUPPLEMENT THE STOP/SLOW PADDLE OR RED FLAG. THE FLASHLIGHT SHALL HAVE A RED GLOW CONE AND EMIT A STEADY-BURN (NON-FLASHING) LIGHT. THE RED WAND SHALL NOT BE USED BY ITSELF TO CONTROL TRAFFIC.

B-15. FLAGGERS SHOULD HOLD STOPPED TRAFFIC AS AT LITTLE TIME AS POSSIBLE.

SECTION C: CHANNELIZING DEVICES AND DELINEATION

C-1. CHANNELIZING DEVICES ARE DIVIDED INTO TWO CATEGORIES; SHORT-TERM AND LONG-TERM (REFER TO GENERAL APPLICATION 11-A FOR CHANNELIZING DEVICE DETAILS):

- FOR OPERATIONS UP TO 72 HOURS, SHORT-TERM OR LONG-TERM DEVICES MAY BE USED.
- FOR OPERATIONS GREATER THAN 72 HOURS, LONG-TERM DEVICES SHALL BE USED.

C-2. CONES MAY ONLY BE USED FOR AS A CHANNELIZING DEVICE FOR OPERATIONS WHERE WORK IS IN ACTIVE PROGRESS. IF THE WORK IS IN ACTIVE PROGRESS FOR GREATER THAN 72 HOURS, A LONG-TERM DEVICE SHALL BE USED.

C-3. CONES SHALL BE MADE OF ANY PLASTIC POLYMER, PLASTIC COPOLYMER, OR RUBBER ELASTOMETER THAN CAN BE COMPOUNDED TO MEET PENNDOT SPECIFICATIONS FOR TRAFFIC CONES.

C-4. ALL CHANNELIZING DEVICES SHALL HAVE RETROREFLECTIVE SHEETING OF A TYPE APPROVED BY PENNDOT AND LISTED IN PENNDOT PUBLICATION 35 (BULLETIN 15). REFER TO GENERAL APPLICATION 11-A.

C-5. CHANNELIZING DEVICES THAT FORM TAPERS SHALL BE VISIBLE TO APPROACHING TRAFFIC FOR A DISTANCE EQUAL TO OR GREATER THAN THE SIGN LEGIBILITY DISTANCE SHOWN IN GENERAL NOTE A-2.

C-6. BARRICADES AND VERTICAL PANELS WITH STRIPES SHALL HAVE ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS. REFER TO GENERAL APPLICATION 11-B.

C-7. CHANNELIZING DEVICES MAY BE SUBSTITUTED FOR TEMPORARY LONGITUDINAL EDGE LINE PAVEMENT MARKINGS AND DOWNSTREAM TAPERS IF THE DEVICES ARE SPACED AT A MAXIMUM DISTANCE IN FEET EQUAL TO THE REGULATORY SPEED LIMIT. CHANNELIZING DEVICES CANNOT BE SUBSTITUTED FOR THE UPSTREAM TAPER, LANE LINE, OR CENTER LINE PAVEMENT MARKINGS.

C-8. CHANNELIZING DEVICES PLACED ON ROADWAYS SHOULD BE PLACED ON THE SAME SIDE OF THE LANE AS THE WORK SPACE TO REDUCE THE IMPACT TO MOTORISTS IN ADJACENT LANES. MINIMUM LANE WIDTH OF 10' SHALL BE PROVIDED.

C-9. TAPERS WITHIN A TRAVEL LANE SHALL UTILIZE A MINIMUM OF 6 CHANNELIZING DEVICES. ADDITIONAL CHANNELIZING DEVICES MAY BE REQUIRED BASED ON THE REGULATORY SPEED LIMIT. CHANNELIZING DEVICES SHOULD BE EQUALLY SPACED WITHIN TAPERS.

C-10. SHOULDER TAPERS ARE REQUIRED DURING NON-FLAGGING OPERATIONS WHEN PAVED SHOULDER HAVE A WIDTH OF 8' OR MORE.

C-11. CHANNELIZING DEVICES USED TO FORM A TAPER MAY DIFFER FROM THE LONGITUDINAL SECTION. HOWEVER, ALL OF THE DEVICES USED WITHIN THE TAPER OR LONGITUDINAL SECTION MUST BE OF THE SAME TYPE (E.G. THE SAME TYPE OF CONE ARE USED WITHIN THE TAPER WHILE DRUMS ARE USED WITHIN THE LONGITUDINAL SECTION).

C-12. TYPE III BARRICADES HAVE NO MAXIMUM AREA REGARDING SIZE OF SIGNS MOUNTED ON THE DEVICE, HOWEVER THE TOTAL WEIGHT OF ALL SIGNS SHALL NOT EXCEED 25 POUNDS.

C-13. WHEN A LIGHT MOUNTED ON A BARRICADE HAS A SEPARATE BATTERY CASE, THE CASE MUST BE PLACED EITHER ON THE GROUND OR ATTACHED 20" MAXIMUM ABOVE THE GROUND TO THE POST OR BASE LEG.

C-14. SANDBAG BALLAST SHALL BE PLACED ON THE END OF EACH LEG OF TYPE II AND TYPE III BARRICADES TO PROVIDE STABILITY.

C-15. TEMPORARY CONCRETE BARRIER SHALL HAVE DELINEATION THAT CONFORMS WITH PENNDOT PUBLICATION 111, TC-8604 SHEET 2 OF 4.

SECTION D: SIGNS

D-1. SIGNS SHALL BE MOUNTED ON PORTABLE SIGN SUPPORTS, PORTABLE SIGN POSTS, BARRICADES, OR BY METHODS COMMONLY ASSOCIATED WITH PERMANENT SIGNS. REFER TO GENERAL APPLICATION 10 FOR TTC SIGN INSTALLATION.

D-2. TTC WARNING SIGNS SHALL HAVE AN ORANGE BACKGROUND AND BLACK BORDER/LEGEND. WARNING SIGNS WITH PINK BACKGROUNDS ARE INTENDED FOR INCIDENT MANAGEMENT AREAS, BUT ORANGE WARNING SIGNS MAY BE USED IF PINK SIGNS ARE NOT AVAILABLE.

D-3. SIGN SHEETING SHALL BE LISTED IN PUBLICATION 35 (BULLETIN 15). SIGNS MANUFACTURED WITH A MESH OR TRANSPARENT QUALITY ARE PROHIBITED. REFER TO THE 2011 TRAFFIC SIGN RETROREFLECTIVE SHEETING IDENTIFICATION GUIDE IN APPENDIX B OF THIS PUBLICATION OR PENNDOT PUBLICATION 46, EXHIBITS 2-8 AND 2-4. FOR RETROREFLECTIVE MATERIAL, THE FOLLOWING ARE THE REQUIREMENTS: SIGNS BEARING TYPE VII THROUGH XI RETROREFLECTIVE MATERIAL ARE CONSIDERED EQUIVALENT AND INTERCHANGEABLE.

D-4. WHEN TTC SIGNS ARE INSTALLED IN A TTC ZONE, PERMANENT SIGNS THAT PROVIDE A CONFLICTING MESSAGE SHALL BE COVERED OR REMOVED. SEE PENNDOT PUBLICATION 408, SECTION 901.3(A), FOR DETAILS ON COVERING SIGNS.

D-5. WHEN A FLAGGER SYMBOL (W20-7) SIGN IS DISPLAYED, A FLAGGER MUST BE PRESENT.

D-6. TTC SIGNS MAY BE MOUNTED ON TYPE III BARRICADES. TTC SIGNS FOR PEDESTRIANS/BICYCLISTS MAY BE MOUNTED ON TYPE I OR TYPE I BARRICADES.

D-7. DO NOT MOUNT TTC WARNING SIGNS ON EXISTING SIGN INSTALLATIONS. THIS COULD RESULT IN MOUNTING HEIGHTS BELOW THE MINIMUM STANDARD. DISPLAY AN IMPROPER SIGN GROUPING, AND COULD PROVIDE TOO MUCH INFORMATION FOR DRIVERS TO COMPREHEND. DRIVERS NEED ADEQUATE TIME TO READ, COMPREHEND, AND REACT TO INFORMATION PROVIDED ON EACH SIGN. TTC DEVICES SHALL NOT BE ATTACHED TO UTILITY POLES OR OTHER STRUCTURES UNLESS THE OWNER GRANTS WRITTEN PERMISSION AND SIGNS CAN BE PROPERLY POSITIONED.

D-8. SIGN SIZES ARE SHOWN IN APPENDIX A. REFER TO PENNDOT PUBLICATION 236 FOR ADDITIONAL INFORMATION.

D-9. DO NOT PLACE SIGN SUPPORTS ON SIDEWALKS, BICYCLE FACILITIES, OR AREAS DESIGNATED FOR PEDESTRIAN OR BICYCLE TRAFFIC UNLESS THERE ARE NO SUITABLE ALTERNATIVE LOCATIONS; AN EXCEPTION IS MADE FOR SIGNS RELATED TO SIDEWALK AND/OR BICYCLE FACILITY CLOSURES WHICH ARE DIRECTED TOWARDS PEDESTRIANS AND BICYCLISTS. IF SIGN SUPPORTS ARE PLACED ON SIDEWALKS, AN ACCESSIBLE PATH OF 46" MINIMUM WIDTH SHALL BE PROVIDED. THIS ACCESSIBLE PATH MUST REMAIN CLEAR FOR PEDESTRIAN USE.

D-10. INSTALL SUPPLEMENTAL TTC SIGNS PRIOR TO THE FIRST TTC SIGN IN THE ADVANCE WARNING AREA IF TRAFFIC APPROACHING THE TTC ZONE IS QUEUED BEFORE THE FIRST TTC SIGN. STANDARD TTC SIGNS OR A PCMS WITH AN APPROPRIATE MESSAGE MAY BE UTILIZED.

D-11. ON CONVENTIONAL HIGHWAYS, ADVANCE WARNING TTC SIGNS ARE REQUIRED ALONG THE RIGHT SIDE OF THE HIGHWAY. SUPPLEMENTAL TTC SIGNS MAY BE PLACED ALONG THE LEFT SIDE OF THE ROADWAY IF THE CONVENTIONAL HIGHWAY IS A ONE-WAY OR DIVIDED HIGHWAY.

D-12. ON FREEWAYS/EXPRESSWAYS, TWO OPTIONS ARE PROVIDED FOR ADVANCE WARNING TTC SIGN PLACEMENT:

- OPTION 1 – INSTALL TTC SIGNS ALONG THE LEFT AND RIGHT SIDE OF THE HIGHWAY (REFER TO PATA 400 OR 500 SERIES).

- OPTION 2 – INSTALL TTC SIGNS ON THE RIGHT SIDE OF THE HIGHWAY (REFER TO PATA 400 OR 500 SERIES).

D-13. ORANGE FLAGS OR YELLOW FLASHING WARNING LIGHTS MAY BE PLACED ON TTC WARNING SIGNS TO INCREASE CONSPICUITY. FLAGS AND LIGHTS SHALL NOT BE USED SIMULTANEOUSLY ON A SIGN. FLAGS OR LIGHTS SHALL NOT BLOCK THE SIGN FACE.

D-14. TTC SIGNS SPECIFIC TO AN OPERATION MAY BE USED AS AN ALTERNATIVE TO THE ROAD WORK AHEAD (W20-1) SIGN.

D-15. TTC WARNING SIGNS MOUNTED ON PORTABLE SIGN SUPPORTS THAT DO NOT MEET THE MINIMUM MOUNTING HEIGHTS (REFER TO GA 10) SHOULD NOT BE USED FOR A DURATION OF MORE THAN THREE DAYS.

D-16. DISTANCES POSTED ON TTC SIGNS WITH "MILES" AS THE UNIT OF MEASURE SHALL UTILIZE WHOLE NUMBERS AND/OR PROPER FRACTIONS WITH DENOMINATORS OF 2, 4, OR 8. THE USE OF DECIMALS IS PROHIBITED.

D-17. TTC SIGNS MUST BE INSTALLED ON SIDE ROADS DURING STATIONARY OPERATIONS. REFER TO GENERAL APPLICATION 06.

D-18. TTC SIGNS SHALL BE INSTALLED SO THAT THE ENTIRE SIGN FACE IS VISIBLE TO APPROACHING TRAFFIC. REFER TO THE SIGN LEGIBILITY DISTANCES SHOWN IN GENERAL NOTE A-2.

D-19. SANDBAGS ARE THE ONLY ACCEPTABLE FORM OF BALLAST FOR TTC SIGNS AND BARRICADES. BALLAST SHOULD BE KEPT TO THE MINIMUM AMOUNT NEEDED AND PLACED ON THE GROUND.

D-20. BALLAST SHALL BE PLACED ON THE END OF EACH LEG OF TYPE III BARRICADES AND PORTABLE SIGN POSTS TO PROVIDE STABILITY.

D-21. TTC SIGNS PLACED NEAR SIDE ROADS AND DRIVEWAYS SHALL NOT LIMIT SIGHT DISTANCE OF A DRIVER ENTERING THE HIGHWAY.

SECTION E: PCMS TRAILER PLACEMENT, VISIBILITY, LEGIBILITY, AND MESSAGE CONTENT

E-1. PCMS MESSAGES PROVIDED ON APPROVED TTC PLANS SHALL BE DISPLAYED EXACTLY AS SHOWN. IF MESSAGES ARE NOT PROVIDED AND/OR OTHER MESSAGES ARE DESIRED, FOLLOW GUIDANCE PROVIDED IN MUTCD, SECTION 2L05 TO CREATE A PROPER MESSAGE. CONTACT THE DTMC, RTMC, OR PENNDOT DTU TO REQUEST APPROVAL PRIOR TO POSTING ALTERNATE MESSAGES. APPROVED MESSAGES MAY BE SAVED FOR FUTURE USE. IF A PREVIOUSLY APPROVED MESSAGE IS CONSIDERED A NEW MESSAGE AND REQUIRES APPROVAL.

E-2. PCMS SHOULD BE PLACED OFF THE SHOULDER AND BEHIND BARRIER. WHERE BARRIER IS NOT AVAILABLE TO SHIELD THE PCMS, IT SHOULD BE PLACED OFF THE SHOULDER AND OUTSIDE OF THE CLEAR ZONE. IF A PCMS HAS TO BE PLACED WITHIN THE CLEAR ZONE, IT SHALL BE DELINEATED WITH RETROREFLECTIVE TTC DEVICES. REFER TO GENERAL APPLICATION 09.

E-3. PCMS SHOULD BE VISIBLE FROM 1/2 MILE UNDER BOTH DAY AND NIGHT CONDITIONS. VISIBILITY IS ASSOCIATED WITH THE POINT WHERE THE PCMS IS FIRST DETECTED, WHEREAS LEGIBILITY IS THE POINT WHERE THE MESSAGE ON THE PCMS CAN BE READ. PCMS MESSAGES WITH TWO PHASES SHALL BE LEGIBLE FOR AT LEAST 800' UNDER NIGHT CONDITIONS AND 800' UNDER DAY CONDITIONS. IF THESE DISTANCES CANNOT BE ACHIEVED, THE PCMS SHALL NOT DISPLAY MORE THAN ONE PHASE.

E-4. PCMS BOARDS SHALL AUTOMATICALLY ADJUST THEIR BRIGHTNESS UNDER VARYING LIGHT CONDITIONS IN ORDER TO MAINTAIN LEGIBILITY. E-5. PCMS BOARDS ON TRAILERS OR VEHICLES SHALL HAVE A MINIMUM HEIGHT OF 7' FROM THE ROAD SURFACE TO THE BOTTOM OF THE SIGN WHILE MESSAGES ARE DISPLAYED.

E-6. EACH PCMS MESSAGE SHALL CONSIST OF NO MORE THAN TWO PHASES. A PHASE SHALL CONSIST OF NO MORE THAN THREE LINES OF TEXT. EACH PHASE SHALL BE UNDERSTOOD BY ITSELF REGARDLESS OF THE SEQUENCE IN WHICH IT IS READ. THE DISPLAY TIME FOR EACH PHASE SHOULD BE AT LEAST 2 SECONDS, AND THE TOTAL DISPLAY TIME FOR BOTH MESSAGES SHALL BE 8 SECONDS MAXIMUM.

E-7. IF MORE THAN TWO PHASES ARE NEEDED TO DISPLAY A MESSAGE, ADDITIONAL PCMS SHOULD BE USED. WHEN MULTIPLE PCMS ARE NEEDED, THEY SHOULD BE PLACED ON THE SAME SIDE OF THE ROADWAY AND SHOULD BE SEPARATED FROM EACH OTHER BY A DISTANCE OF AT LEAST 1000' ON FREEWAYS/EXPRESSWAYS AND A DISTANCE OF AT LEAST 500' ON CONVENTIONAL HIGHWAYS.

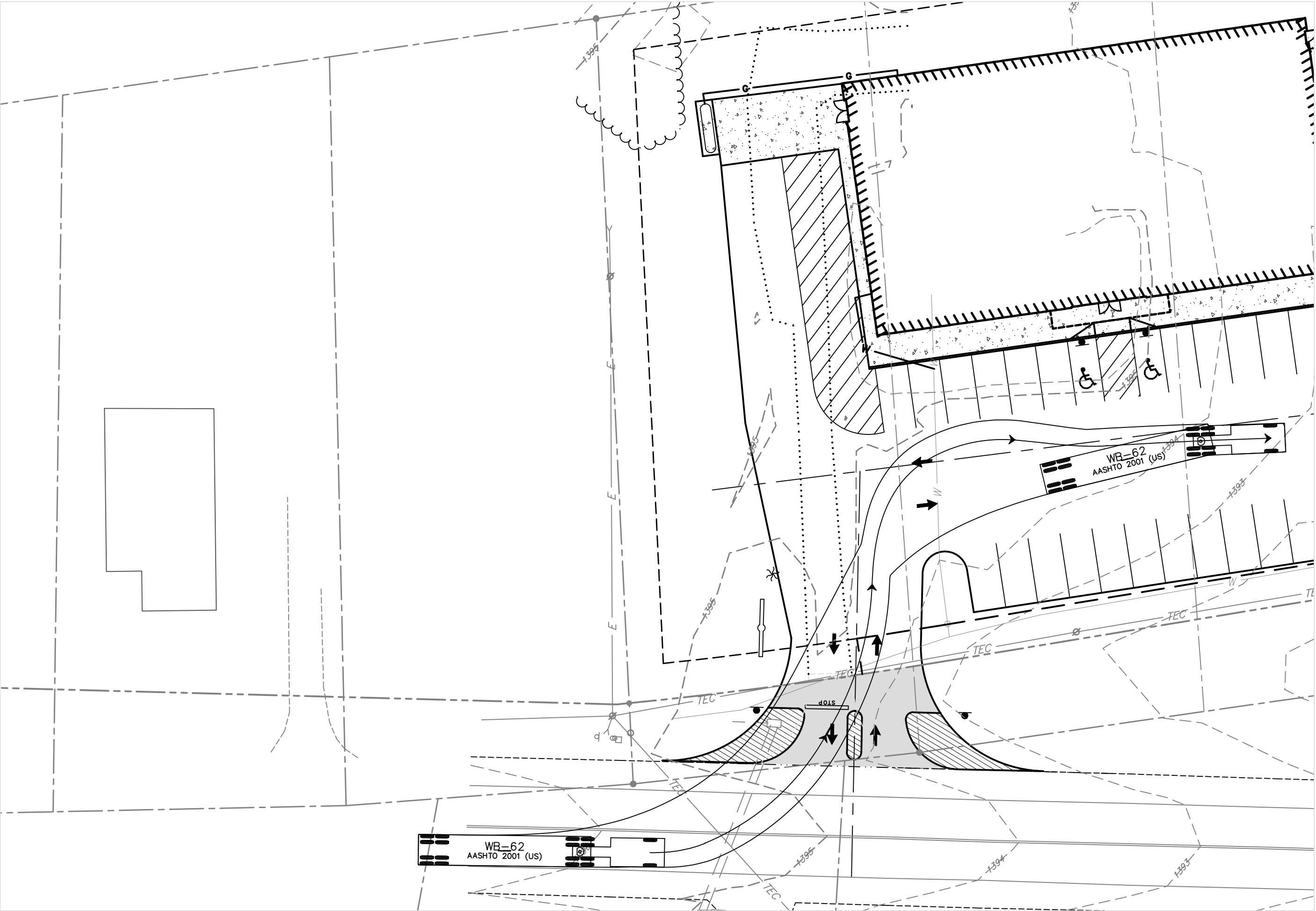
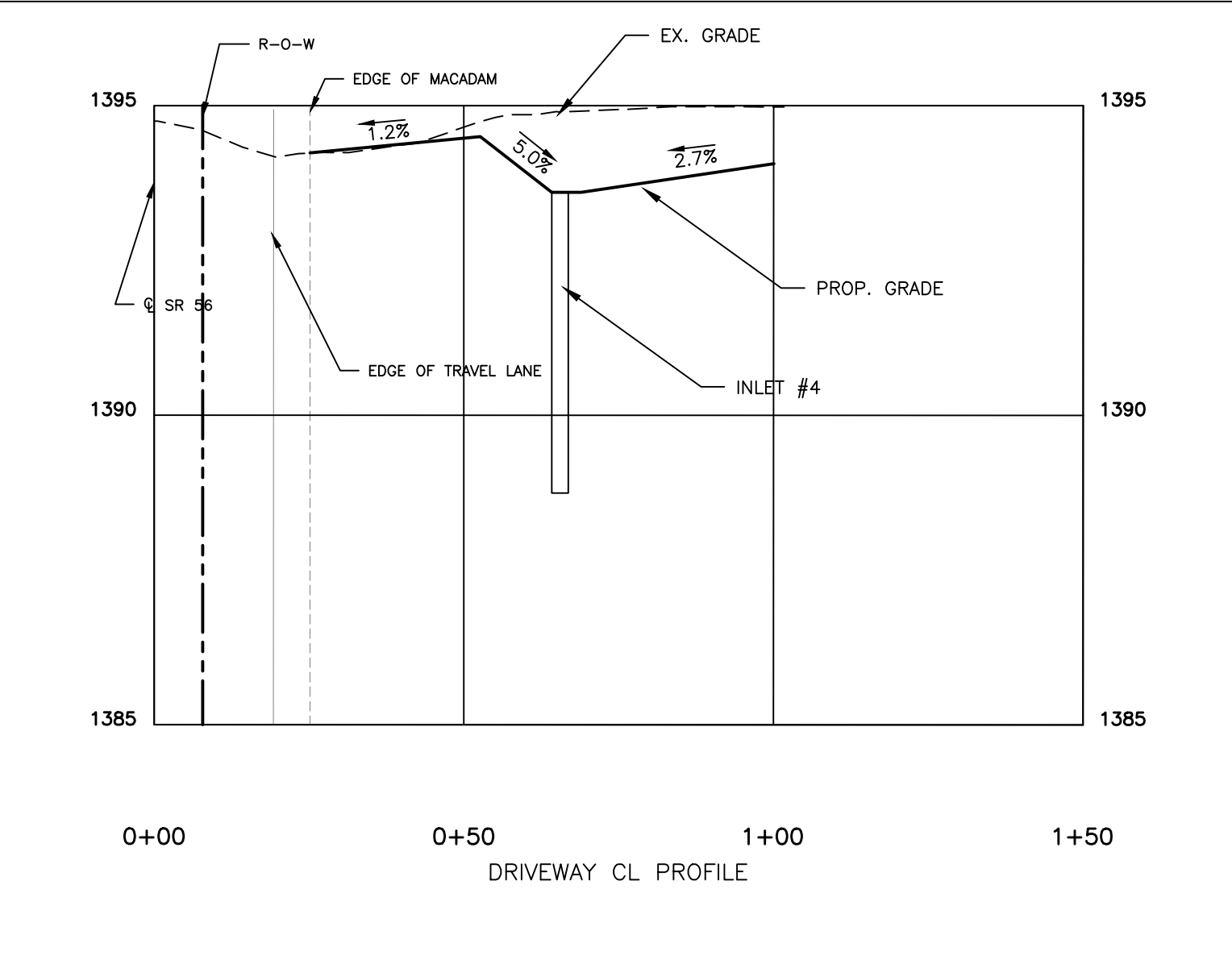
E-8. LETTER HEIGHT REQUIREMENTS FOR PCMS MESSAGES:

- 18" MINIMUM FOR TRAILER-MOUNTED PCMS ALONG ROADWAYS WITH SPEED LIMITS OF 45 MPH OR HIGHER.
- 12" MINIMUM FOR TRAILER-MOUNTED PCMS ALONG ROADWAYS WITH SPEED LIMITS OF 40 MPH OR LOWER.
- 10" MINIMUM FOR VEHICLE-MOUNTED PCMS.

E-9. PCMS MESSAGES SHALL DISPLAY ONLY TRAFFIC OPERATIONAL,

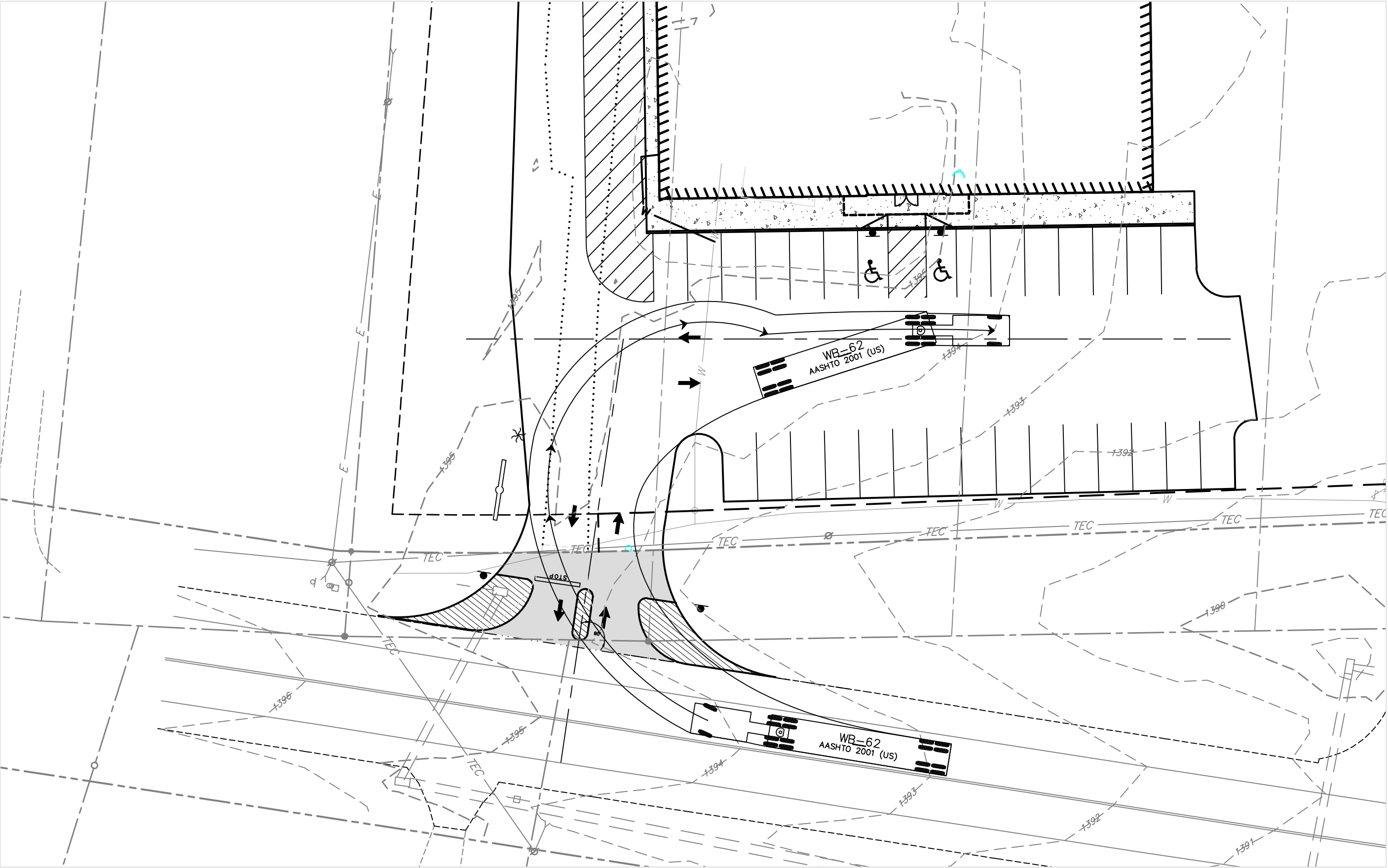
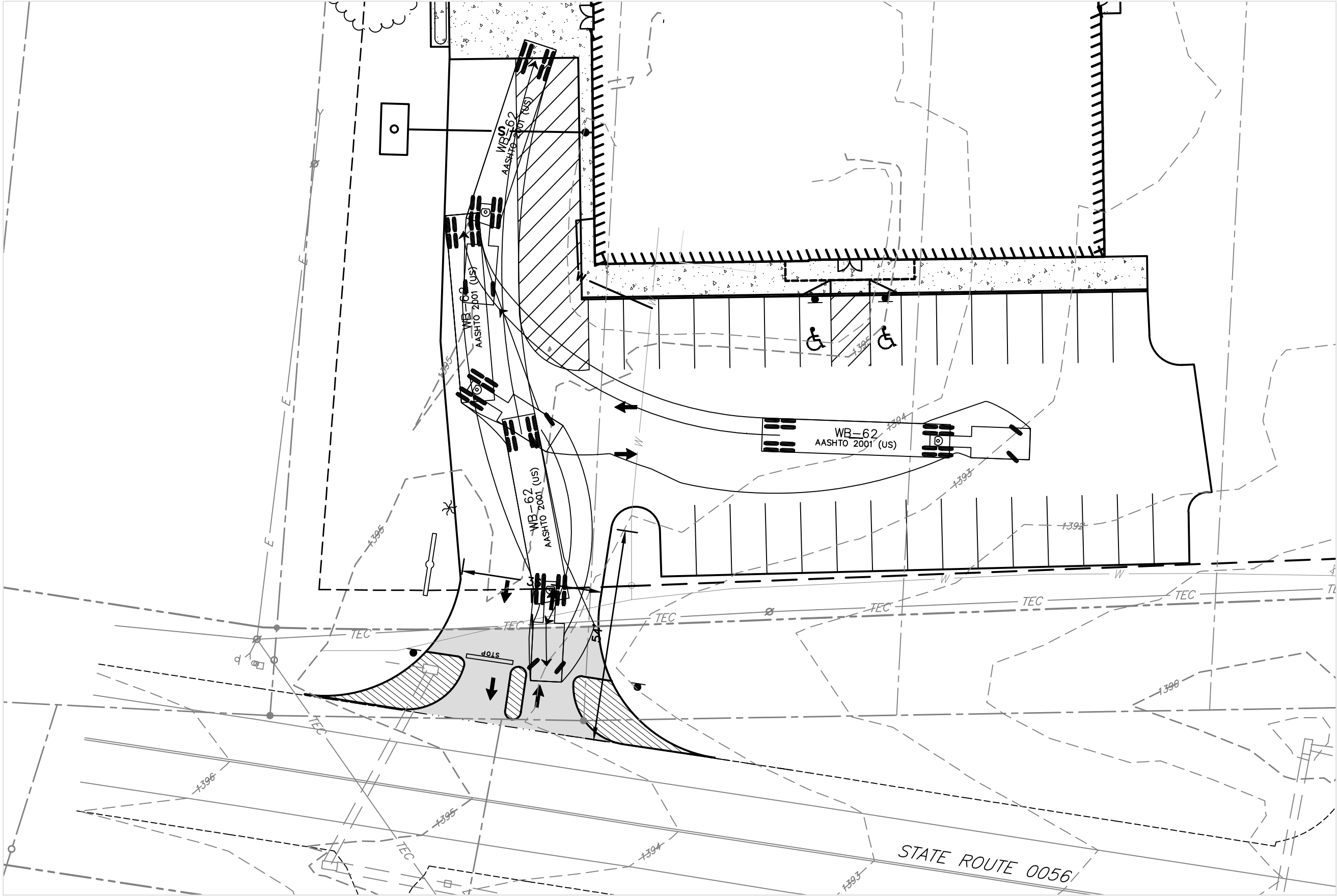
Verification Status
VC
Total pavement width
22
Pavement History Layer Type Code
2013
SPAV/WMA WRG, 9.5MM,H / Depth: 1.5 (in.) / Year: 2013
SPAV/WMA BNDR, 19MM / Depth: 2.5 (in.) / Year: 2013
SPAV/WMA BASE, 25MM / Depth: 8 (in.) / Year: 2013
2ASUBBASE / Depth: 8 (in.) / Year: 2013

PAVEMENT HISTORY
SR 0056 SEG 0444



SOUTHBOUND INTO PARKING LOT
NORTHBOUND INTO PARKING LOT

BACKING INTO BAY AREA



DATE & INITIALS	REVISION DESCRIPTION

PROJECT NO.: 4530-S
FILE NAME: PLOT HOP3
DATE: 11/13/20
DESIGNED BY: BSG
DRAWN BY: BAC
CHECKED BY: --

HOP3

KELLER ENGINEERS, INC.
1000 BRUSH VALLEY ROAD
HOMER, PA 16138
TEL: 814.326.1100
WWW.KELLER-ENGINEERS.COM

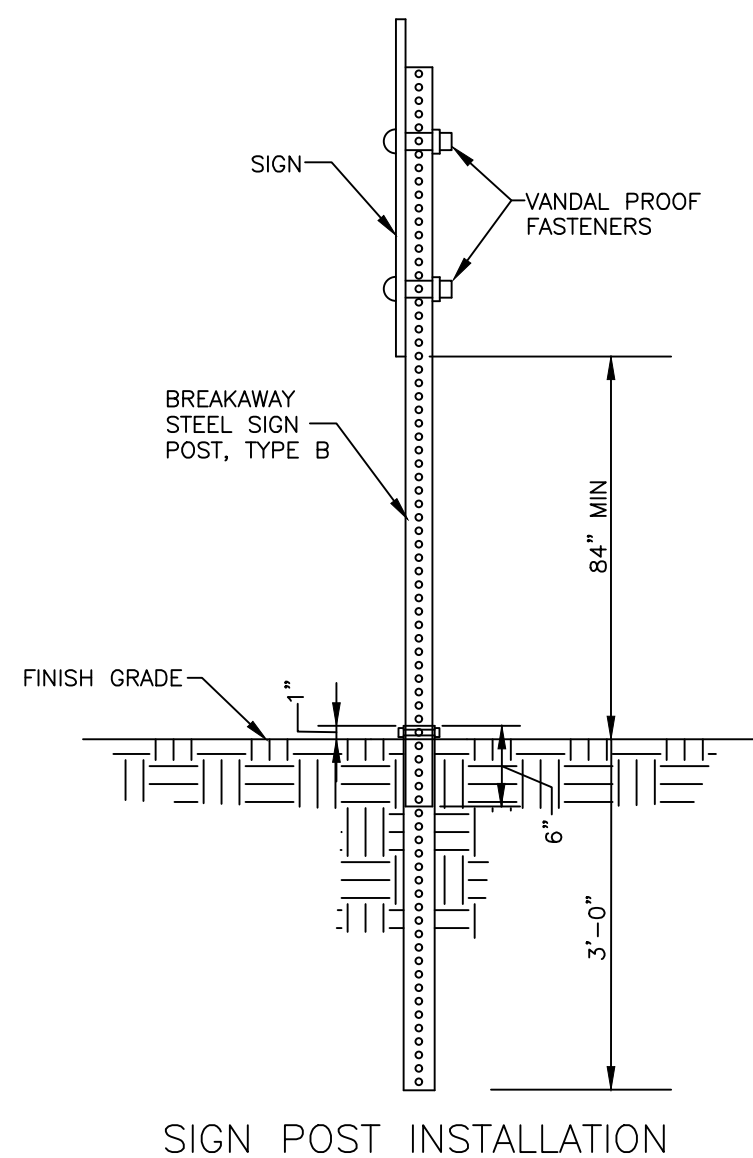
BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

HOP DETAILS

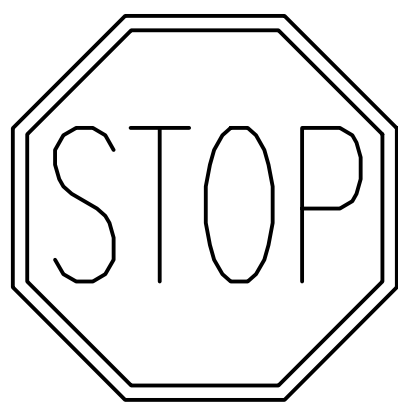
HOMER CITY DOLLAR GENERAL

420 Allegheny Street
Holidaysburg, PA 16648
P: (814) 696-7430
www.keller-engineers.com

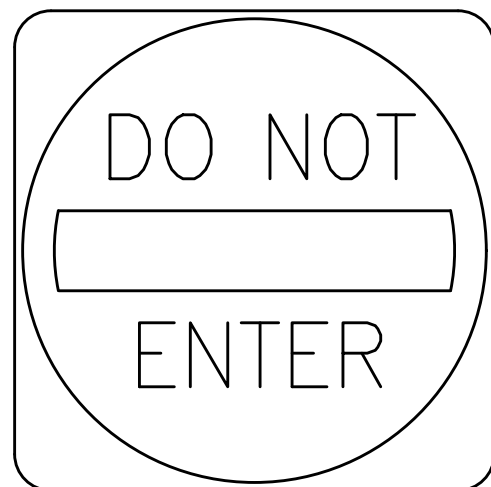
KELLER ENGINEERS
CIVIL • STRUCTURAL • SURVEY



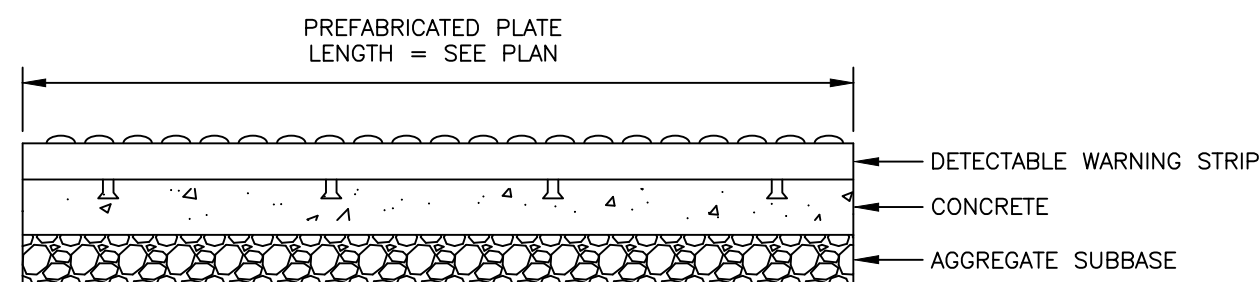
SIGN POST INSTALLATION



STOP SIGN
NON-PENNDOT R-O-W
(R1-1)
30"x30"



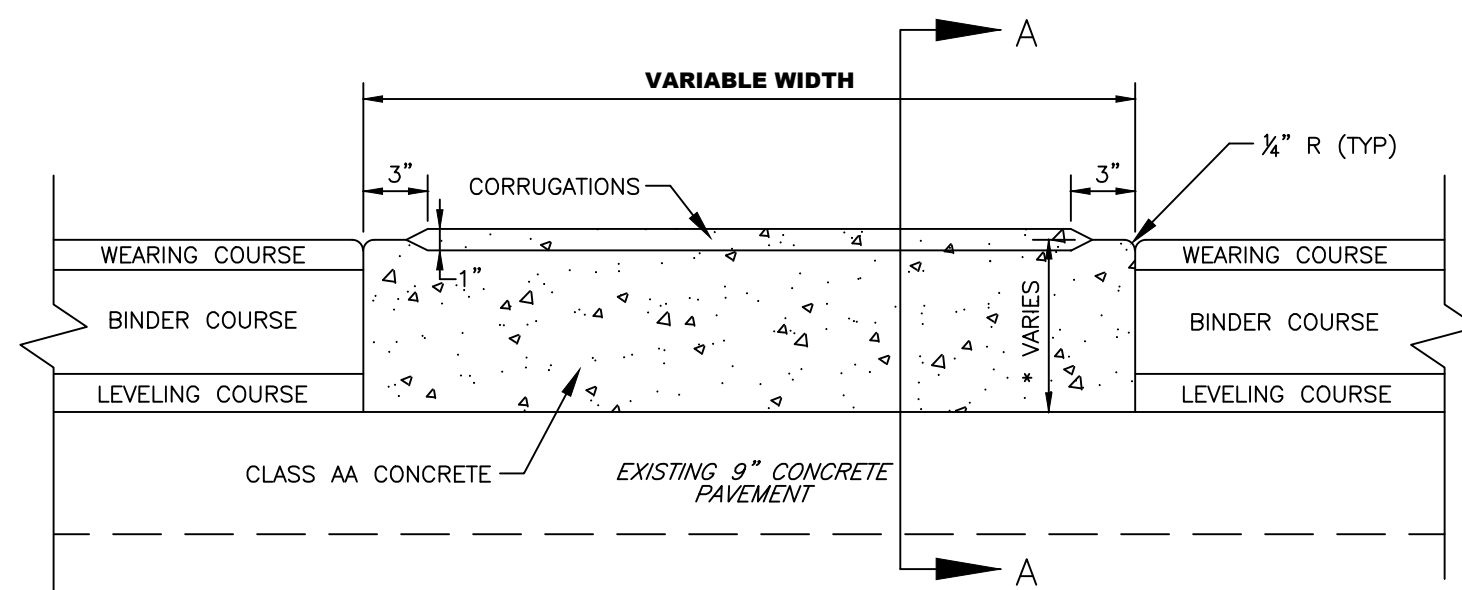
DO NOT ENTER SIGN
(R5-1)
30"x30" 36"x36" 48"x48"



NOTES:

1. WARNING PLATES SHALL BE WET-SET REPLACEABLE MODEL BY ADA SOLUTIONS, INC. (800) 372-0519 WWW.ADATILE.COM
2. COLOR SHALL BE BRICK RED IN THE PUBLIC RIGHT OF WAY AND YELLOW ON THE SITE.
3. DETECTABLE WARNINGS SHALL COMPLY WITH ADA TITLE 49, PART 37.9, APPENDIX A, SECTION 4.29.2.

DETECTABLE WARNINGS PLATE

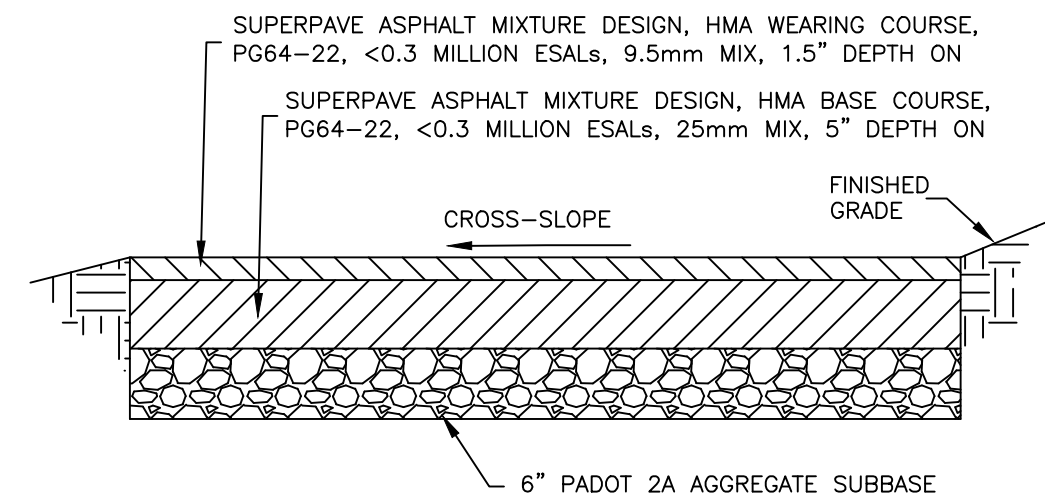


NOTES: TYPICAL CROSS SECTION DETAIL

* DEPTH VARIES FROM 3" TO 9". SEE CROSS SECTIONS FOR AVG DEPTH AT EACH SECTION.

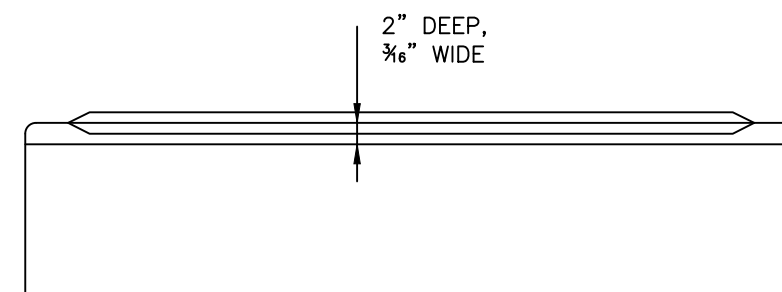
1. USE MATERIALS AND CONSTRUCTION METHODS WHICH MEET THE REQUIREMENTS OF THE CONTRACT SPECIAL PROVISIONS.
2. PLACE $\frac{3}{4}$ " PREMOLED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR CROSS SECTIONAL AREA.
3. PROVIDE TRANSVERSE CONTRACTION JOINTS AT 20'-0" MAXIMUM SPACING. SAW CUT AT EXISTING CONCRETE PAVEMENT JOINTS.

CONCRETE TRAFFIC SEPARATOR

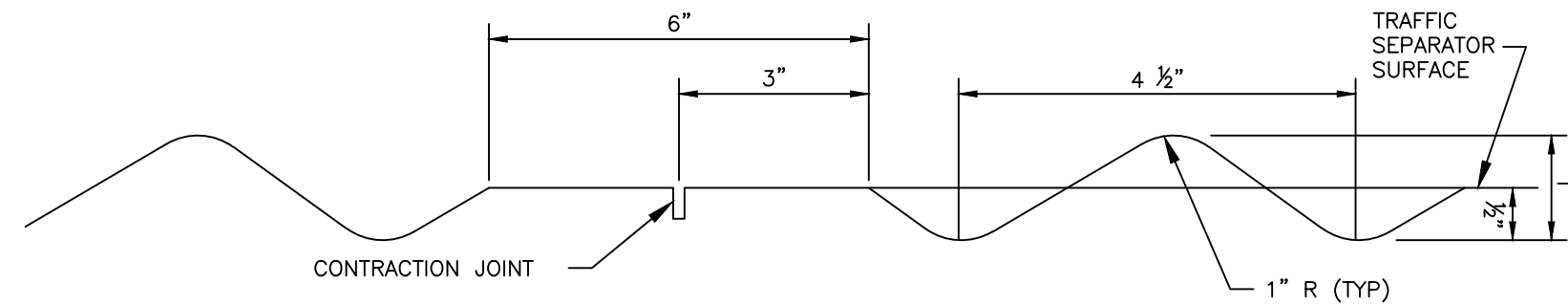


NOTE:
CONTRACTOR SHALL MATCH EXISTING PAVEMENT SECTION FOR SR0056
OR USE THIS DETAIL, WHICHEVER IS GREATER, FOR MACADAM WITHIN
THE STATE R-O-W.

PENNDOT MACADAM PAVEMENT

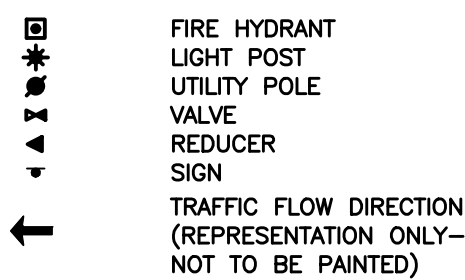


CONTRACTION JOINT DETAIL

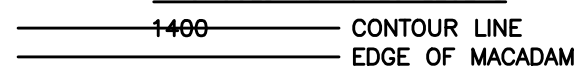


CORRUGATION DETAIL
SECTION A - A

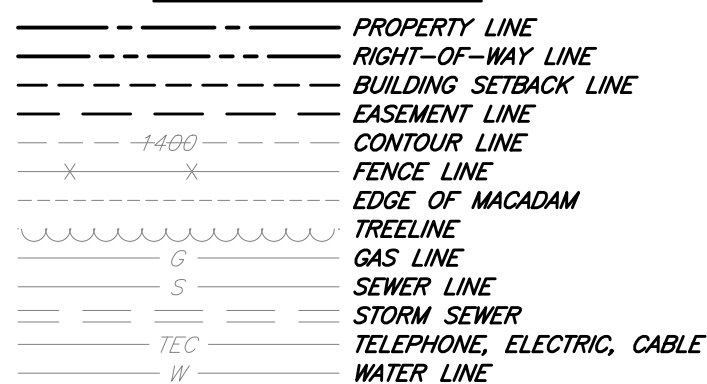
SYMBOLS



PROPOSED FEATURES LEGEND



EXISTING FEATURES LEGEND



ABBREVIATIONS

BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
CB	CURB BOX
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
EM	ELECTRIC METER
FF	1ST FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FLAG POLE
GM	GAS METER
GV	GAS VALVE
HDPE	HIGH DENSITY POLY-ETHYLENE
HP	HIGH POINT
LF	LINEAR FEET
LP	LIGHT POLE
MAX	MAXIMUM
MB	MAIL BOX
MH	MANHOLE
MIN	MINIMUM
PM	PARKING METER
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCR	REINFORCED CONCRETE PIPE
SWPP	SMOOTH WALL POLY-ETHYLENE PIPE
TBM	TEMPORARY BENCHMARK
TC	TOP OF CURB
TP	TERRACOTTA PIPE
TW	TOP OF WALL
UP	UTILITY POLE
WM	WATER METER
WV	WATER VALVE
WWF	WELDED WIRE FABRIC

PENNSYLVANIA STATE UTILITY ACT LIST

PENNSYLVANIA ONE CALL SERIAL # 2024-156-0381

THREE DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PENDING CONSTRUCTION AND NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 OR THE COMMON GROUND ALLIANCE NATIONAL ONE-CALL AT 811.

THE CONTRACTOR SHALL LOCATE, BOTH IN PLAN AND ELEVATION, ALL EXISTING UTILITIES AND SERVICES WITHIN THE AREA OF CONSTRUCTION, COMPLY WITH THE UNDERGROUND UTILITY LINE PROTECTION LAW, ACT OF 1974, P.L. 852 NO. 287, DATED DECEMBER 12, 1991.

THE FOLLOWING UTILITIES ARE ON THE PA ONE CALL WEBSITE AS HAVING FACILITIES IN THE TOWNSHIP OF BRUSH VALLEY, INDIANA COUNTY, PA:

PENNSYLVANIA ELECTRIC CO
2081 ROUTE 286 SOUTH
INDIANA, PA 15701
CONTACT: PAUL GRASSER
EMAIL: PGRASSER@FIRSTENERGYCORP.COM

HIGHRIDGE WATER AUTHORITY
17 MAPLE AVENUE
BLAIRSVILLE, PA 15717
PHONE: 724-235-2900



PROJECT NO.:	4530-5
FILE NAME:	PLOT\HOP.DWG
DATE:	11/13/24
DESIGNED BY:	BSP
DRAWN BY:	BAC
CHECKED BY:	----

HOP4

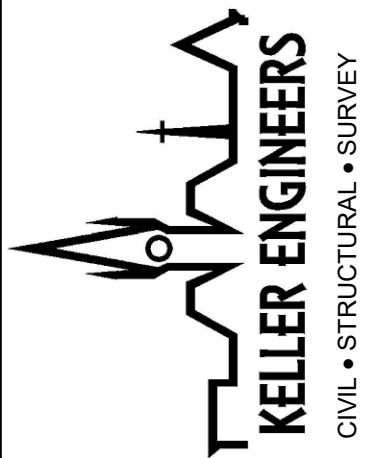
HOP DETAILS

HOMER CITY DOLLAR GENERAL

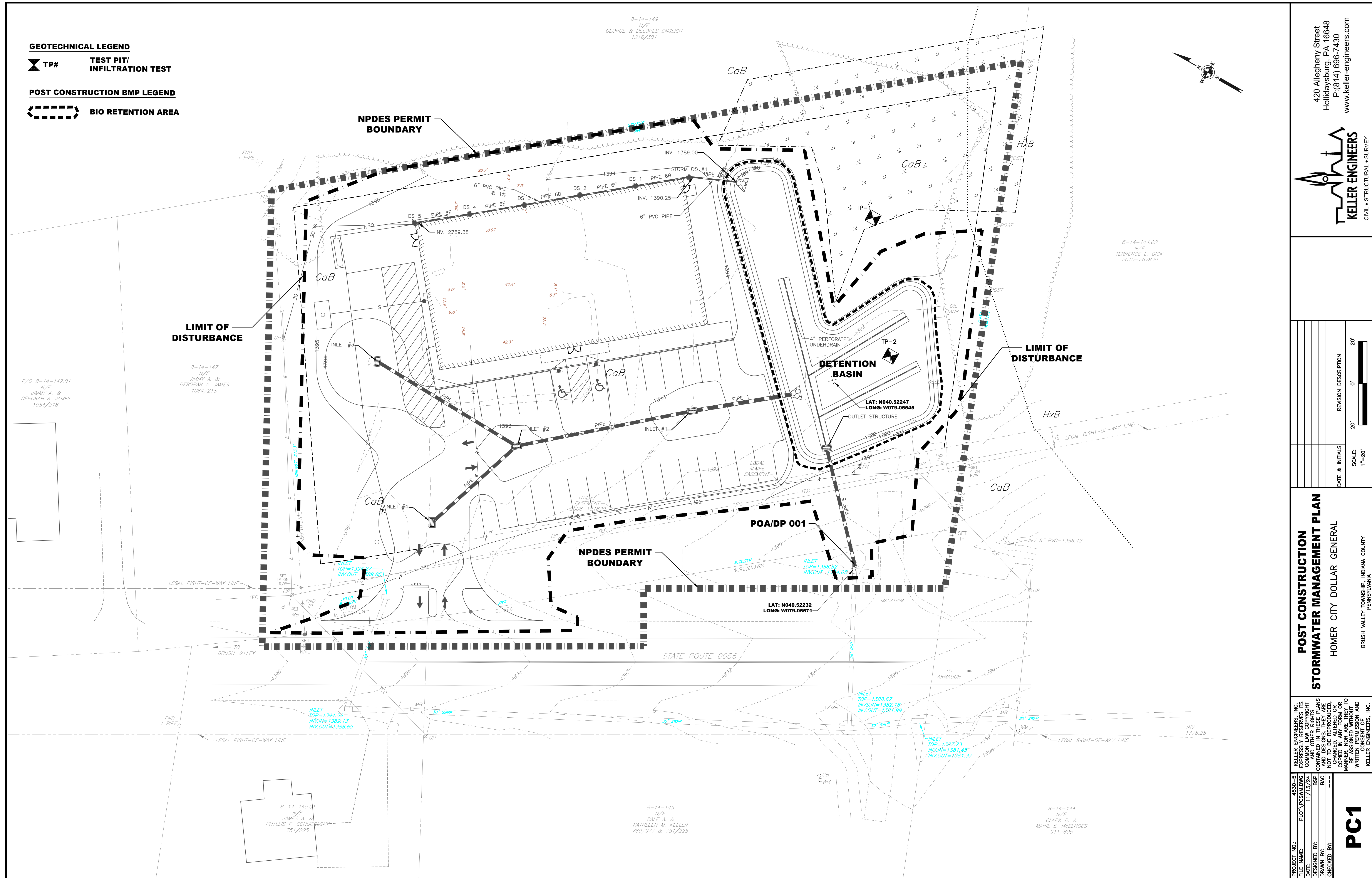
BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

420 Allegheny Street
Hollidaysburg, PA 16648
P:(814) 696-7430
www.keller-engineers.com

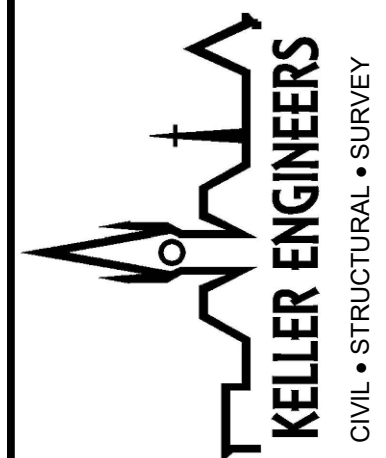
www.keller-engineers.com



TP#

 BIO RETENTION AREA

420 Allegheny Street
Hollidaysburg, PA 16648
P: (814) 696-7430
www.keller-engineers.com

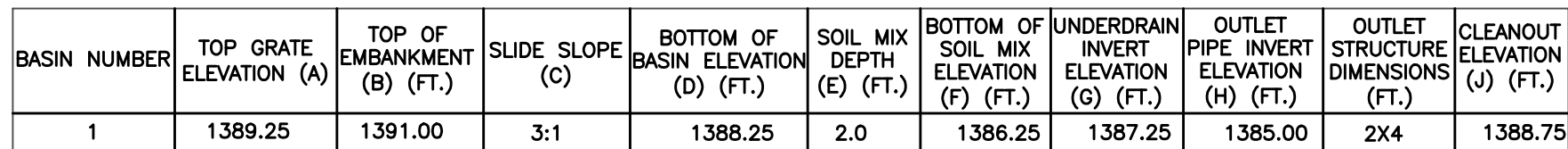
[illegible]

**POST CONSTRUCTION
STORMWATER MANAGEMENT PLAN**
HOMER CITY DOLLAR GENERAL

BRUSH VALLEY TOWNSHIP, INDIANA COUNTY
PENNSYLVANIA

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COPIED IN ANY FORM OR
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BE ASSIGNED WITHOUT
WRITTEN PERMISSION AND
CONSENT OF
KELLER ENGINEERS, INC.

PROJECT NO.:	4530-5
FILE NAME:	PLOT.PCSWM.DWG
DATE:	11/13/24
DESIGNED BY:	BSP
DRAWN BY:	BAC
CHECKED BY:	---



1 3/4"

B

A

BEARING BARS AT 1 3/4" CENTER TO CENTER 1/2" x 2 1/2" x 25" BARS

2 1/2"

B

3 5/8"

A

3/4"

2' 2 1/2"

3/4"

1/4" MIN

1/4" MIN

(MIN)

TRANSVERSE RODS AT 3 5/8" CENTER TO CENTER 3/8" DIA x 46 1/4" ROD

PLAN

SECTION A-A

SECTION A-A

The drawing consists of two parts: a Plan view and a Section B-B view.

PLAN: Shows a rectangular frame with a total width of $57\frac{1}{4}"$ and a total height of $36"$. The frame has a double-line border. Section lines A-A and B-B are indicated. Section B-B is a horizontal section through the center of the frame, with a width of $4\frac{1}{2}"$ on each side of the centerline. Section A-A is a vertical section through the center of the frame, with a height of $4\frac{1}{2}"$ on each side of the centerline.

SECTION B-B: Shows a cross-section of the frame. The total width is $24"$. The frame has a double-line border. The section lines A-A and B-B are indicated. The section B-B is a horizontal section through the center of the frame, with a width of $4\frac{1}{2}"$ on each side of the centerline. The section A-A is a vertical section through the center of the frame, with a height of $4\frac{1}{2}"$ on each side of the centerline.

Technical drawing of a manhole assembly showing top and side views.

Top View Labels:

- CLEANOUT FRAME AND COVER TO BE NEENAH MODEL R-1976 OR EQUAL
- (4) 7/8" DIA HOLES IN CASTING USE (4) 3/4" LARGE BOLTS FOR SECURING TO CONCRETE RING
- TOP VIEW

Side View Labels:

- FINISHED GRADE
- 6" (TYP)
- 20"
- THREADED CAP
- THREADED ADAPTER
- CLASS "A" CONCRETE
- COMPACTED BEDDING MATERIAL TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY
- PIPE
- 45° BEND
- WYE OR TEE
- PLUG
- VARIES (vertical dimension line)

NOTE: PIPE SIZE AS SPECIFIED ON PLAN

STORM RUN 1 PROFILE

Station	Invert In	Invert Out	Station Surface
0+00	1388.65	1388.37	1392.60
0+50	1389.08	1389.31	1392.60
1+00	1389.08	1389.08	1392.60
1+50	1389.08	1389.31	1392.60
2+00	1389.08	1389.31	1392.60
2+50	1389.08	1389.31	1392.60

PIPE 1
46.6 LF 18" Corrugated HDPE
Pipe @ 0.25%

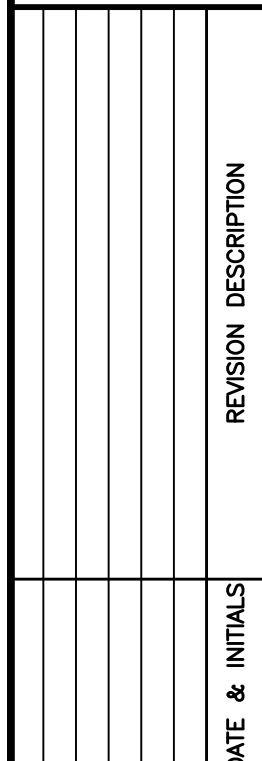
PIPE 2
8.3 LF 15" HDPE
Pipe @ 0.50%

PIPE 3
74.3 LF
15" HDPE @ 0.50%

INLET #1 (M TOP)
INLET #2 (M TOP)
INLET #3 (M TOP)

The diagram shows a cross-section of a wellbore. On the left, a vertical pipe is labeled 'PIPE 51.5' and '15" HDPE @'. On the right, a vertical pipe is labeled '15" HDPE @'. Two inlets are shown: 'INLET #2 (M TOP)' on the left and 'INLET #4 (M TOP)' on the right. The diagram includes stationing data: '1389.08' at the top left, '1389.31' below it, '1389.08' below that, '1389.35' below that, '1389.60' below that, and '1389.60' at the bottom left. A vertical line on the right side is labeled '1389.35' at the top, '1389.35' below it, '1389.35' below that, '1389.35' below that, and '1389.35' at the bottom right. A horizontal line is labeled '1389.35' at the top right, '1389.35' below it, '1389.35' below that, '1389.35' below that, and '1389.35' at the bottom right.

Station	Depth (ft)	Station	Depth (ft)
1389.08	1389.31	1389.35	1389.35
1389.08	1389.35	1389.35	1389.35
1389.35	1389.60	1389.35	1389.35
1389.60	1389.60	1389.35	1389.35

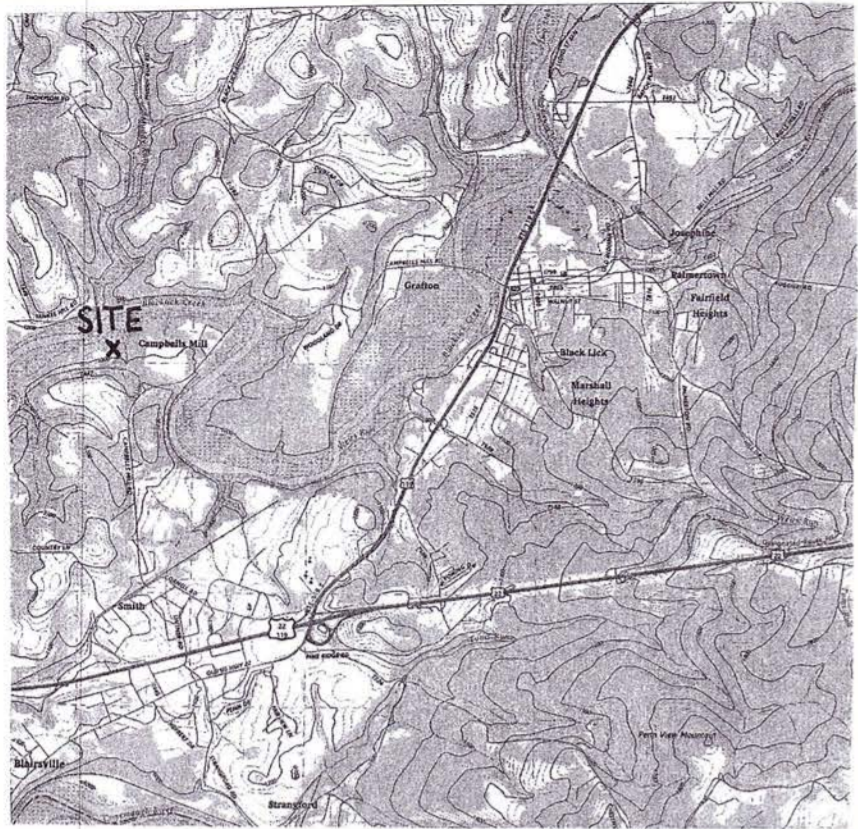


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CONSENT OF
KELLER ENGINEERS, INC.

PROJECT NO.:	4530-5
FILE NAME:	PLOT\PCSWM.DWG
DATE:	11/13/24
DESIGNED BY:	BSP
DRAWN BY:	BAC
CHECKED BY:	----

3C3

COUNTY REVIEW



LOCATION MAP SCALE: 1"=1500'

PLAN DATA
OWNER..... JOSEPH W. & BRENDA J. HOUSER
ADDRESS..... 250 FALLING RUN ROAD
CITY, STATE, ZIP..... BLAIRSVILLE, PA 15717
TELEPHONE..... N/A
TAX MAP NUMBER..... 10-003-107.02
SOURCE OF TITLE..... DOC.NO: 2013-245344
NUMBER OF PARCELS..... 2
TOTAL AREA..... 13.4906 ACRES
UTILITIES AVAILABLE..... TELE, ELEC, GAS, WATER

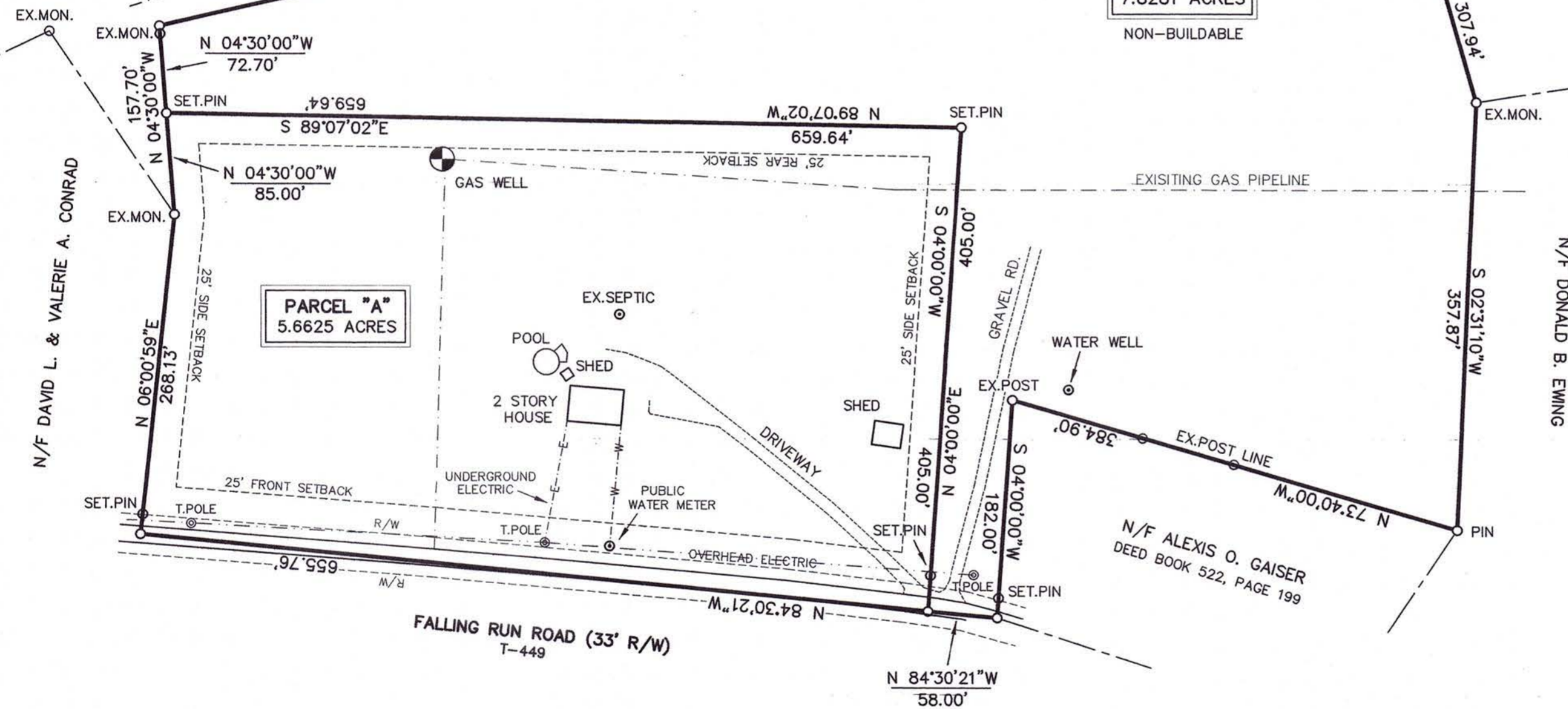
PROPERTY IS NOT LOCATED IN FLOOD PLAIN
AS PER FLOOD INSURANCE RATE MAP
INDIANA COUNTY, PA
BLACKLICK TOWNSHIP
PANEL 530 OF 650
MAP NO: 42063C0530F
EFFECTIVE DATE: 4-3-12

N/F THE UNITED STATES OF AMERICA

(FLOOD ZONE A)
APPROX. LOCATION

PARCEL "B"
7.8281 ACRES

NON-BUILDABLE



N/F DONALD B. EWING

N/F ALEXIS O. GAISER
DEED BOOK 522, PAGE 199

WE THE UNDERSIGNED JOSEPH W. & BRENDA J. HOUSER
OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN DO HEREBY CERTIFY THAT WE HAVE LAID
OFF, PLATTED AND SUBDIVIDED AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN
ACCORDANCE WITH THE WITHIN PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS THE
HOUSER SUBDIVISION

BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT BETWEEN WHICH LINES
AND THE PROPERTY LINES OF THE STREET, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING
OR STRUCTURE.

WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, 20__.

OWNER _____ OWNER _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF WESTMORELAND

ON THIS ____ DAY OF _____, 20__, BEFORE ME,
THE UNDERSIGNED OFFICER, PERSONALLY CAME JOSEPH W. & BRENDA J. HOUSER
KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE
WITHIN INSTRUMENT AND ACKNOWLEDGED THE SAME FOR THE PURPOSE THEREIN CONTAINED.

NOTARY PUBLIC

APPROVED BY THE BURRELL TOWNSHIP SUPERVISORS, INDIANA COUNTY, PENNSYLVANIA,
ON THIS ____ DAY OF _____, 20__.

SECRETARY _____ CHAIRMAN _____

REVIEWED BY THE INDIANA COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT
ON THIS 11 DAY OF March, 2025.

Josh Krug, Deputy Director Planning
PLANNING DIRECTOR

I, ARTHUR J. KROMEL, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN
COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA AND THAT THIS PLAT
CORRECTLY REPRESENTS A SURVEY MADE BY ME ON JANUARY 6, 2025

Arthur J. Kromel
ARTHUR J. KROMEL PLS REG.NO: SU-42301-E

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC.,
IN SAID INDIANA COUNTY IN INSTRUMENT NUMBER _____
ON THIS ____ DAY OF _____, 20__.

RECORDER OF DEEDS

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO CREATE A 5.6625 ACRE PARCEL AROUND
THE EXISTING HOUSE AND STRUCTURES FROM THE LANDS OF JOSEPH W. &
BRENDA J. HOUSER (MAP NO: 10-003-107.02) SHOWN AS PARCEL "A".

PARCEL "B" TO BE THE REMAINING ACRES OF MAP NO: 10-003-107.02.

PARCEL "B"

PLANNING WAIVER & NON-BUILDABLE DECLARATION

"AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION
DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF NON-BUILDABLE
USE. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY BURRELL TOWNSHIP
OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF ANY SEWAGE
DISPOSAL FACILITY. NO PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION
TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM
(EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE D.E.P.
HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION DESCRIBED
HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS
750.1 et seq.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING,
IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR
SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF
BURRELL TOWNSHIP WHO ARE CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT
TO DETERMINE THE FORM OF SEWAGE FACILITIES PLANNING REQUIRED AND THE PROCEDURE AND
REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS."

SUPERVISORS

PLANNING DEPARTMENT

RECORDER OF DEEDS

HOUSER SUBDIVISION

BURRELL TOWNSHIP
INDIANA COUNTY, PA

SCALE: 1"=100'

JANUARY 2025
REVISED: FEBRUARY 18, 2025

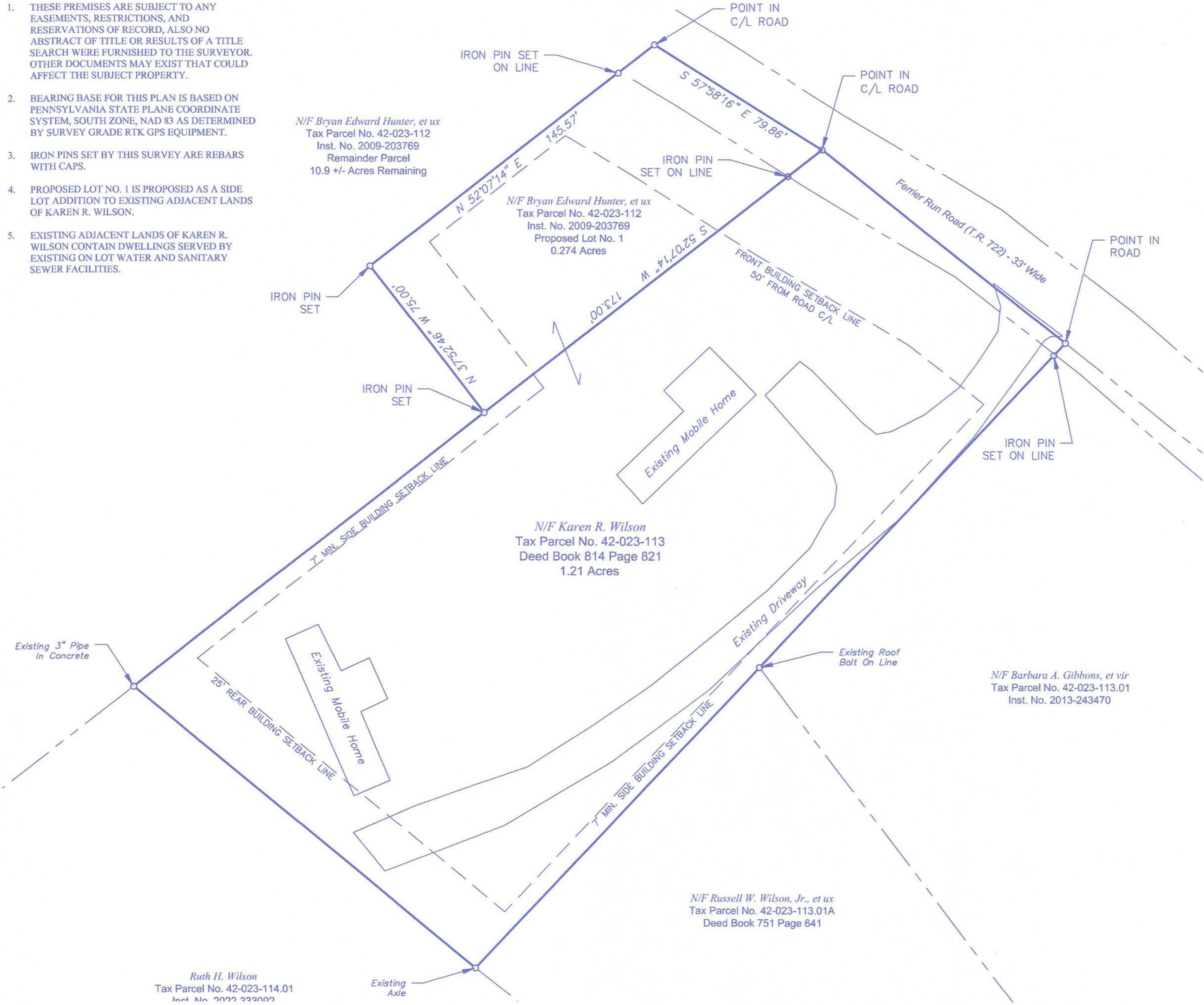
ARTHUR J. KROMEL P.L.S.
708 LINCOLN AVENUE
LATROBE, PA 15650
724-539-8836

FILE NO: 7576
SUB NO: 25-03
COMP. FILE: HOUSER2



NOTES:

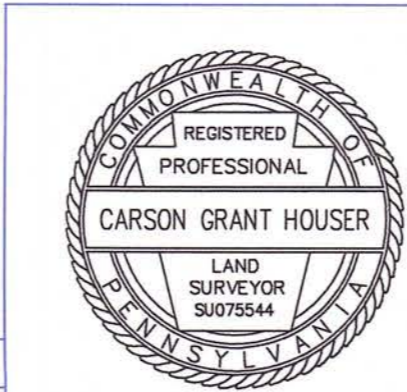
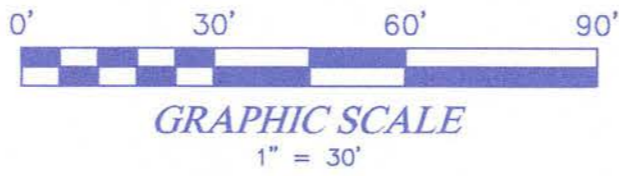
1. THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
2. BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
3. IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
4. PROPOSED LOT NO. 1 IS PROPOSED AS A SIDE LOT ADDITION TO EXISTING ADJACENT LANDS OF KAREN R. WILSON.
5. EXISTING ADJACENT LANDS OF KAREN R. WILSON CONTAIN DWELLINGS SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.



I, Carson Grant Houser, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

2/4/2025
Date
SEAL
Signature of Surveyor

NO.	DATE	DESCRIPTION
REVISIONS		



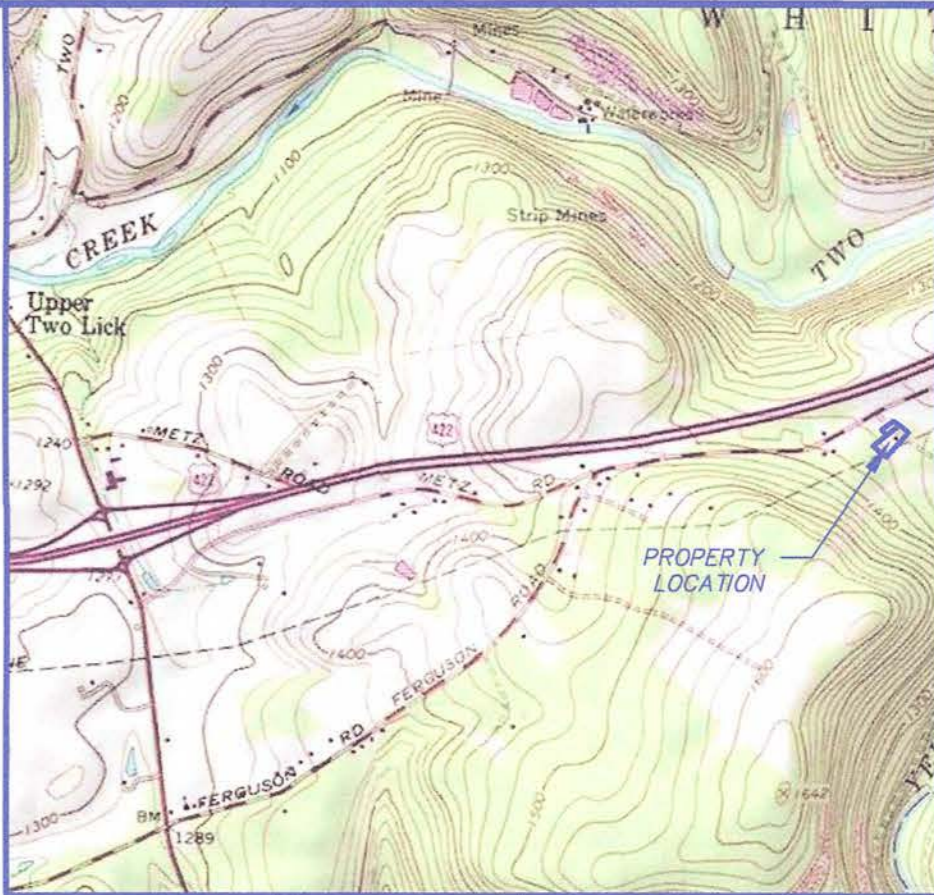
SEAL

PROPOSED MINOR SUBDIVISION		
prepared for		
BRYAN & LISA HUNTER		
situated in:		
WHITE TOWNSHIP, INDIANA COUNTY, PA		
ISSUED: 1/27/2025	JOB: 24368	SCALE: 1" = 30'
FILE: HUNTER	DRAWN BY: J.N.S.	CHECKED BY: C.G.H.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@wjaengineers.com

SHEET NO:



LOCATION MAP
SCALE: 1" = 2000'

I/We, Bryan Edward & Lisa Ann Hunter, have designed for my/our land situated in Township of White, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness my/our hand and seal.

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared

who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of White, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____

APPROVAL BY WHITE TOWNSHIP PLANNING COMMISSION
AT MEETING HELD ON THE 11th DAY OF March 2025.

CHAIRMAN

SECRETARY

RECORDED THIS _____ DAY OF _____, 20____,
IN THE REGISTER AND RECORDER OF DEEDS OFFICE
IN PLAT BOOK VOLUME _____ PAGE _____
WITNESS MY HAND AND OFFICIAL SEAL ON THE
DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS

Reviewed by: Indiana County Planning Commission

Date: March 17, 2025

Signed: Josh Krug, Deputy Director

NOTES:

- THESE PREMISES ARE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, ALSO NO ABSTRACT OF TITLE OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. OTHER DOCUMENTS MAY EXIST THAT COULD AFFECT THE SUBJECT PROPERTY.
- BEARING BASE FOR THIS PLAN IS BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 AS DETERMINED BY SURVEY GRADE RTK GPS EQUIPMENT.
- IRON PINS SET BY THIS SURVEY ARE REBARS WITH CAPS.
- THE REMAINDER PARCEL CONTAINS A DWELLING SERVED BY EXISTING ON LOT WATER AND SANITARY SEWER FACILITIES.
- LOTS PROPOSED BY THIS SUBDIVISION ARE NOT LOCATED WITHIN ANY DESIGNATED FLOODPLAIN.
- DEEDS SHALL BE PREPARED FOR PROPOSED LOT NO. 1 & NO. 2 FOLLOWING THE APPROVAL AND RECORDING OF THIS SUBDIVISION.

LINE	BEARING	DISTANCE
1	N 61°35'53" E	113.65'
2	S 58°10'35" E	96.44'
3	S 40°51'35" E	71.02'
4	S 66°41'53" W	80.38'
5	N 68°16'34" W	16.45'
6	N 08°29'08" E	167.99'
7	N 19°21'08" E	92.17'

We, George W. Fatora, Jr., Phoebe J. Fatora & Karen S. Rigggenbach have designed for my/our land situated in Township of Burrell, County of Indiana, Commonwealth of Pennsylvania, lots and streets according to this plan which is intended to be recorded.
Witness my/our hand and seal.

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF)

On the _____ day of _____, 20____, before me, the subscriber, a Notary Public of Commonwealth of Pennsylvania, personally appeared _____

who acknowledge this plan to be the official plan of lots and streets, for his/her/their property located in the Township of Burrell, County of Indiana, Commonwealth of Pennsylvania, and desire that this plan be approved and recorded according to law.

(SEAL)

My Commission expires _____

MAP REVIEWED BY INDIANA COUNTY OFFICE OF PLANNING AND DEVELOPMENT
ON THE _____ DAY OF _____, 20____.

STAFF, OFFICE OF PLANNING AND DEVELOPMENT

FINAL APPROVAL BY SUPERVISORS OF BURRELL TOWNSHIP, COUNTY OF INDIANA, COMMONWEALTH OF PENNSYLVANIA
ON THE 31 DAY OF March, 2025.

Jeffrey Mandytoran
CHAIRMAN/ SECRETARY

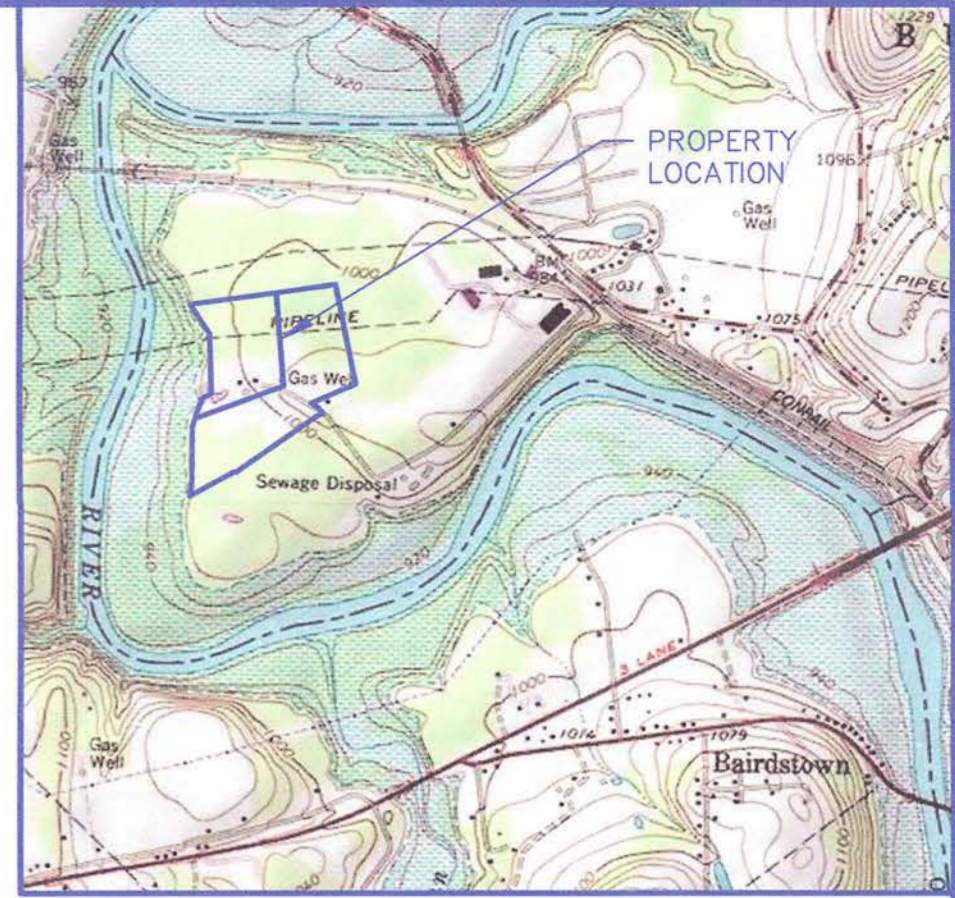
RECORDED THIS _____ DAY OF _____, 20____,
IN THE REGISTER AND RECORDER OF DEEDS OFFICE
IN PLAT BOOK VOLUME _____ PAGE _____
WITNESS MY HAND AND OFFICIAL SEAL ON THE
DAY AND DATE WRITTEN ABOVE.

RECORDER OF DEEDS

NOTICE:

AS OF THE DATE OF THIS LOT PLAN RECORDING, PROPOSED LOT NO. 1 AS SHOWN HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESSED PURPOSE OF NON-BUILDING USE (AGRICULTURE). NO PORTION OF THIS LOT HAS BEEN APPROVED BY BURRELL TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE DISPOSAL PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND THE D.E.P. HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR PROPOSED LOT NO. 1 DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT, ANY PURCHASER SHOULD CONTACT APPROPRIATE OFFICIALS OF THE MUNICIPALITY, WHICH IS CHARGED WITH ADMINISTERING THE ACT, TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURES FOR OBTAINING APPROPRIATE PERMITS.

N/F William J. McIntire
Tax Parcel No. 10-002-131
Deed Book 1333 Page 574



LOCATION MAP
SCALE: 1" = 2000'

N/F William J. McIntire
Tax Parcel No. 10-002-131
Deed Book 1333 Page 574

N/F USA
Tax Parcel No. 10-002-132

George W. Fatora, Jr.,
Phoebe J. Fatora & Karen S.
Rigggenbach
Tax Parcel No. 10-002-133
Inst No. 2021-323478
Remainder Parcel
19.33 Acres Remaining

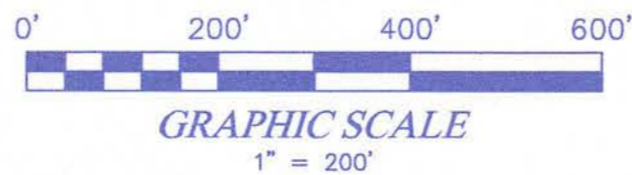
George W. Fatora, Jr.,
Phoebe J. Fatora & Karen S.
Rigggenbach
Tax Parcel No. 10-002-133
Inst No. 2021-323478
Proposed Lot No. 1
35.47 Acres

N/F George W. Fatora, Jr.
Tax Parcel No. 10-002-133.01
Inst. No. 2021-323478

N/F George W. Fatora, Jr.
Tax Parcel No. 10-002-133.02
Deed Book 686 Page 181

N/F Scott A. Abbruscato
Tax Parcel No. 10-002-134
Inst. No. 2019-304036

N/F Gary Merle Clawson, Jr., et ux
Tax Parcel No. 10-002-135
Inst. No. 2007-172324



I, Carson Grant Houser, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

3/31/2025 SEAL Carson Grant Houser
Date Signature of Surveyor

NO.	DATE	DESCRIPTION
REVISIONS		



SEAL

PROPOSED MINOR SUBDIVISION

prepared for

KAREN RIGGENBACH

situated in:

BURRELL TOWNSHIP, INDIANA COUNTY, PA

ISSUED: 3/28/2025 JOB: 24062 SCALE: 1" = 200'
FILE: RIGGENBACH DRAWN BY: J.N.S. CHECKED BY: C.G.H.



2039 South 6th Street
Indiana, PA 15701-6012
Phone: (724) 463-7090
Fax: (724) 463-7092
Email: chouser@yjaengineers.com

SHEET NO:

1

April 1 2025 Long Range Comprehensive Plan Committee Summary

Attendance: Joe Trimarchi, Jeffery Cable, Josh Krug, Kegan Stiles, Scott Yackuboskey

The meeting begins with Krug sharing with the Committee some of the resources available through the Southwestern Pennsylvania Commission. Krug explains how the tools and resources provided by SPC can be valuable to the formation of a Comprehensive Plan. Darr asks about the accuracy of available data. Krug responds that the office has used SPC for multiple projects, including the ongoing Municipal Profiles & Trends project.

The discussion moves to the main focus of the meeting; reviewing a presentation given by Crawford County Planning Director, Zach Norwood. The presentation was about Crawford County's recent update to their Comp Plan, and provides their methodologies, philosophies, and recommendations.

The presentation includes information claiming the Plan update was more efficient than the previous Plan, inspired by the "Implementable Plan" model discusses in previous meetings. This leads to discussion about how the Committee should approach planning, with Trimarchi making the distinction between the parties work on what the plan should like versus the parties who actually help develop the plan.

Krug then turns to the data collection section of the presentation. He points out that Crawford only hosted 2 public meetings, while Indiana should have at least 3-4 to receive the best input.

The discussion turns back to what parties should be involved in the planning process. This included Steering Committee size, with Cable suggesting the Steering Committee should be kept small. It would include the necessary parties (Planning Section, County Commissioners) and bring on a set of experts/specialists, for a more efficient Steering Committee. The Committee suggested to start the Steering Committee large, then narrow it down to those with specializations.

Krug points out that the Crawford Plan focused on 7 "bold moves", which significantly narrows down the focus, compared to the 150 goals in the previous Plan. This again is a feature of the Implementable Planning model, something the Committee believes is important for Indiana to follow.

The discussion ends with reviewing the aesthetics of the Crawford Plan. The Committee noted finding a balance between a Plan that's largely plain text, and a Plan that's aesthetically appealing to capture the readers' attention, while not going overboard or too "cartoony".

March 18 2025 Long Range Comprehensive Plan Committee Summary

Attendance: Joe Trimarchi, Jeffery Cable, Josh Krug, Kegan Stiles, Scott Yackuboskey

The meeting begins with discussion about the presentation given by Zach Norwood about the Crawford County Comprehensive Plan update. Trimarchi and Krug note that there were multiple good points to take away from presentation that could be helpful for Indiana County. A copy of the presentation will be provided before next meeting.

Krug shares the agenda items for the meeting. The first is the Comp Plan Notes and Outline document, and the second is the 2023 Comprehensive Plan Report Card of the 2012 County Plan. Krug goes over the Report Card Task descriptions, including future descriptions, and suggested reviewing carry over items specifically in regards to addressing “responsible parties”, parties that would be responsible for managing each task/goal. He also suggests each task/goal have a “Project Lead” or Champion who would play a major role in completing Comp Plan goals.

Krug turns to the Comp Plan Notes and Outline document, going over key points of what each plan did well. This includes how multiple plans included a responsible parties section for their goals and action items. This leads to discussion about to what extent the County Commissioners should be included as a responsible party for the goals of an updated Comp Plan. Krug suggests, that as multiple other counties have done, the Commissioners should be included as a responsible party for every goal. Cable agrees on that the Commissioners should have a prominent role as a responsible party. Cable goes on to explain the importance of being active with all responsible parties as a means of completing the goals from the Comp Plan.

Cable and Trimarchi suggest that a report card template be made to closer track progress on each goal of the Comp Plan, whether that be quarterly or yearly.

The meeting ends with discussions about how to best approach an implementation plan that promotes collaboration between ICOPD and all other responsible parties.

Economic Development Committee March 26, 2025

Attendance: Laurie LaFontaine, Bill Darr, Dr. Jerry Pickering, Joe Trimarchi, Josie Cunningham, Josh Krug, Kegan Stiles, Scott Yackuboskey

Krug begins the meeting by going over the “Trends & Analysis” section of the Washington County Comprehensive Plan, which has been used as an example of how a Comp Plan can cover economic development. This leads to discussion about the similarities (agriculture, rural character) and differences (transportation, interstate highway) between the counties. Krug reiterates that despite any differences or similarities, the point of looking at the Washington County Comp Plan is for its context, not necessarily its content specifically.

Krug reminds the Committee that the purpose of the committee is to make a formal recommendation to the Long Range Comprehensive Plan Committee to provide the best approach to an economic development plan, whether that be a standalone document or as a section/chapter in a future Comp Plan update. The Long Range Comprehensive Plan Committee would then provide additional discussion and a final recommendation to the Planning Commission.

In addition to the Washington County Comp Plan, the Committee also received the Governor’s State Economic Plan, as well as an Indiana County Economic Development draft plan created by Ben Bush around 2020.

The discussion moves towards the 2012 Comp Plan as Krug mentions that there was originally a completed economic development final draft that was cut from the Comp Plan. LaFontaine, who worked on the economic development chapter, explains that it was cut because it was not as comprehensive as other parties wanted an economic development section to be, while LaFontaine argues that it would have been good for a Comp Plan, of which typically does not focus on economics.

The Committee discusses different approaches to the economic development section, specifically how Washington County’s section does not include goals and recommendation, but rather “key findings”. This distinction is important as the MPC does not call for economic development section directly, but rather how it relates to land use. Having “key findings” at the end of an economics section would allow the Comp Plan to create goals for land use, while using key findings as data to back up those goals.

Darr inquires about the capacity to create an economic development section, and asks what it would take for Indiana County to create a section that mirrors Washington County. Krug replies that, with collaboration with the Economic Development Section of ICOPD, the Planning Section could develop most of the economic section in-house. LaFontaine adds that whoever develops this section would have to develop it while keeping the goals of the 2012 Plan in mind; for example, keeping development contained where there is existing infrastructure (the 119 corridor, so on).

Cunningham states that economic landscape has changes significantly over the decades, including more recently a push to energy production. With the demolition of the Homer City Generating Station, the County is likely entering a new era, something of which would have to be captured in an economics section of the Comp Plan.

In comparison to the Washington Plan, Darr emphasizes that industry analysis needs to be specific to Indiana County. Yackuboskey briefly mentions that industry analysis is based of NAICS codes (which comes from the US Census and Bureau of Labor Statistics). Darr asks that ICOPD produce something similar to Washington County for next meeting, as to make the formal recommendation. Trimarchi adds that if ICOPD produces a plan similar to the State Plan, we would be more likely to be accepted for grant funding.

Krug goes over the deliverables. One of which was the identified partners document, which Yackuboskey explains how in updating the document, he reaches out to each partner directly over the phone to get the best possible contact as it relates to economic development. Once the contact is received, he emails the partner a template which they fill out to provide background of the partner's work and the projects and programs. Another deliverable is a summary document that includes all the work of the Committee thus far. Additionally, staff would provide future growth areas mapping that includes building permits. Last, would be the recommendation. Darr reiterates that some sort of work product should be provided before making a recommendation.

Dr. Pickering asks that a summary or key points be drafted of the similarities of the identified partners.

Darr asks if Washington had a consultant for their Plan. Krug replies that Washington hired a consultant for their plan, but that the economic section for Indiana County could be created in-house. Krug goes on to explain that the tourism section from the Washington Plan could be created in-house by working the Indiana County Tourist Bureau.

LaFontaine mentions that Washington mentions documentation from SPC, something that's not included in the Indiana County 2012 Plan. Darr adds supporting comments explaining that Indiana seemingly does not have as active engagement with SPC.

The meeting ends with discussion about providing the proper documentation for the Committee to be able make said recommendation.

County Office of Planning & Development- Planning Section Project Updates for the Planning Commission meeting: April 9, 2025

Route 22 Pedestrian and Bicycle Bridge Project

Bids were open and are on budget. Project awarded to Charles Merlo Construction out of Cambria County and to begin construction in 2025 to be complete in 2026.

Indiana County Stormwater Management Plan- Phase 2

Staff is working to coordinate with the Army Corps of Engineers, the SPC Water Resource Center, the Indiana County Conservation district and the DEP Northwest region to develop a partnership and work plan for the Phase 2 project. This will include the modeling of at least one sub-basin within the County and projects related to the problem areas in that sub-basin, and the plan content that will provide an overview of stormwater management, purpose of the study, data collection, all GIS maps, present conditions, projected land development patterns, calculation methodology, the Model Ordinance and implementation discussion. A consultant will be hired to support the work of staff. A sharing of workload is anticipated between the Army Corps, ICOPD staff, and an additional project consultant. Discussions with the Army Corps continue to develop. Will be bringing Watershed Planning Advisory Committee back together once we have our full core team together. Current partners include Army Corps, Southwestern PA Commission (SPC), Indiana County Conservation District, Western PA Conservancy, Indiana County Stormwater Education Partnership. We have received deliverables from Army Corps. This will be a priority project in 2025. RFP process initiated. Working on updating the WPAC.

Continuing to finalize the WPAC. Sending a letter to municipal and other key partners to request a representative. RFP is out. Updating the webpage for the Stormwater Education Partnership.

WalkWorks and Decathlon

More information is available on the Indiana County Walking Decathlon Facebook page, Indiana County Office of Planning & Development's website <http://icopd.org/indiana-county-walkworks-program.html> and social media platforms: Facebook. Specific questions should be directed to Barbara Hauge

Updated mapping and program metrics as we prepare for next year's program starting in September. Coordinating prize pick ups from drawing at Nature Palooza. Have met twice so far for 9th annual program. Shaping up to be very exciting and successful program. Hot Chocolate Walk is scheduled for February 8th at 10:30am at Blue Spruce Park.

Working on a WalkWorks Routes Reinvigoration and Revitalization Campaign- White Township Relaunch was successful, albeit the weather. Next relaunch is Indiana Borough.

84 attendees at the Hot Chocolate Walk. Next event is Saturday, February 22nd with the Winter Walk in Whites Woods at 11:00am. Flyers available for distribution. 12 and 32 attendees at the Nutrition Walk and Historic 6th Street walks respectively. Great attendance for these events and wonderful partnerships with IRMC and the Historical Society. Sky Dance: Dance of the Woodcock (4/10) and the Tour of the White Township Recreation Complex (4/12) are the next events.

Sustainable Economic Development Task Force

Summit VII was a great success. YouTube videos and Summit program information etc. is available on the website at www.sustainableindianacounty.org

Beginning to discuss Summit VIII and pulling the Task Force back together for regular meetings to discuss progress and direction.

Indiana County Blight Remediation Plan-

We are developing a path forward to accomplish an update to the Housing Plan and a Blight

Remediation Plan. We will examine things like Land Banking as part of the Plan. We have met with the Commissioners and are regrouping now that we were unfortunately denied the funding from DCED, but we are looking at other possible funding sources to fully fund the project. We currently have half of the funds needed to complete the plan.

- Expanded inventory to all 14 boroughs, 3 townships and 14 additional Census Designated Places and Villages. 240 properties have been identified. Updated and number has gone down, which is a good thing.

We are working on a Blight Remediation Strategy. Met with Creekside Borough to discuss their local Blight issues/concerns. [Continue to work on Blight Strategy.](#)

Creative Spaces Collective

Visit creativespacescollective.com Indiana Arts Council has hired a new Executive Director to help manage the program and beyond. Went to statewide grantee summit at Raystown Lake on 10/1-10/2. [We are working on a Story Map for the murals and other projects that this grant has allowed to happen over the last 4 years. We are also working to include profiles/biographies for each of the mural artists.](#)

[New project page on our icopd.org website.](#) Story Map is live! Continuing to partner with the Indiana Arts Council.

Building Permits Mapping Project

Working on mapping all building permits, commercial and residential from 2004-present. Developed GIS database and have begun mapping. Have all permits mapped that came through our office from 2004 to date. Will be working with other municipalities to look to acquire/develop their data. We will be

analyzing the data we have to include in the Annual Report. [We are currently working on developing the building permits data for White Township. Nearing completion on White Township permits.](#)

Municipal Profiles and Trends

New project to develop mapping and data profiles for all 38 municipalities in the County as well as the County overall.

Lots of mapping done. We will share a map book at an upcoming meeting.

Lots of Census and American Community Survey (ACS) data being developed. Working to complete the project.

Working on developing a status inventory/needs assessment for remaining data and maps needed to complete the project.

Formatting the current draft document to produce a DRAFT for distribution and review.

County Seat to County Seat Bike Ride-

Partnering with Cambria County and C&I Trail Council and others to put on event.

Ride from Ebensburg to Indiana and back the next day or ride or shuttle back same day. Postponed to Fall 2025. New date to be determined. Meeting next week to discuss 12/17.

Rescheduling for a later date in September. Updates to come.

Indiana County Parks Inventory Update

Updating the County Parks GIS layer(s) and completing an update to the Inventory and Conditions assessment from the 2006 Indiana County Open Space, Parks, and Recreation Plan. Field work to begin next semester. Field Work has begun. Jacob Engbert, Student Planner, is leading this effort.

Jacob is making great progress so far this semester. We will provide an update/report at the May meeting.

Farmland Preservation

Assisting the Farmland Preservation Board with the ranking of farms for the program.

We have worked with the Farmland Preservation Board to get the application process underway and are facilitating the process through our office. Scott has been the point person for this work. Continuing to assist.

Several applications were submitted and we assisted with the evaluations.